



**Municipal Planning Commission  
City Service Center – 915 Quarrier Street – Suite 6  
Wednesday, September 9, 2026  
3:00 p.m.**

**Agenda**

- 1. Call to Order**
- 2. Unfinished Business**
- 3. New Business**

**Development of Significant Impact**

Application of Pickering Associates on behalf of Vandalia Health requesting site plan review for a 4-story physical therapy facility for both in- and out-patient treatment on the property located at **303 Morris Street**.

- 4. Minutes of the August 5, 2026 MPC meeting**
- 5. Announcements**
- 6. Adjournment**

**\*Meetings may be recorded and broadcast via internet <https://charlestonwv.civicclerk.com>**

Municipal Planning Commission

# Application and Checklist for DSI



MPC Hearing Date: \_\_\_\_\_

DSI \_\_\_\_\_ or Major DSI \_\_\_\_\_

| Applicant Information                                                                                                                                                    | Property Information                                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|
| <b>Name:</b> Charleston Area Medical Center, Inc.                                                                                                                        | <b>Address:</b> 510 Morris Street, Charleston, WV 25301                 |
| <b>Address:</b> 501 Morris Street, Charleston, WV 25301                                                                                                                  | <b>Tax Map and Parcel:</b><br>17 5                                      |
| <b>Phone:</b> 304-388-4930                                                                                                                                               | <b>Zoning District:</b><br>C10                                          |
| <b>Agents Name, Address, Phone (If other than Applicant):</b><br>Pickering Associates - Spencer Kimble, PE<br>1283 Emerson Avenue, Parkersburg, WV 26104<br>304-464-5305 | <b>Property Owner and Mailing Address:</b><br>(if other than applicant) |

**IMPORTANT:** This application must be typed or legibly printed and filed by the filing deadline with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301. The following items must accompany this application:

**A. Developments of Significant Impact**

Applications for permits for Developments of Significant Impact (DSI), as defined by the ordinance shall be accompanied by a site plan drawn to scale that includes the following for the use of the Planning Director:

1. The actual dimensions, size, square footage, and shape of the lot to be built upon as shown on an actual survey by a licensed land surveyor or registered professional engineer licensed by the State of West Virginia
2. The exact sizes and locations of existing structures on the lot, if any
3. The location, square footage, and dimensions of the proposed structure or alteration
4. The location of the lot with respect to adjacent rights-of-way
5. The existing and proposed uses of the structure and land
6. The number of employees, families, housekeeping units, bedrooms, or rental units the structure is designed to accommodate
7. The location and dimensions of off-street parking and means of ingress and egress for such space
8. Height of structure
9. Setbacks
10. Buffer yard and screening, if applicable
11. Location of garbage collection area and screening
12. Street typical for internal roadways
13. Location and size of drainage structures
14. Location of stormwater detention system, if applicable
15. Utility lines and easements
16. Signature of applicant
17. Drainage plan and drainage calculations that bear the name, address, signature and seal of a registered professional engineer, with floodplain zones clearly denoted, a typical of all swales, and a design of the drop inlets
18. If applicable, design of stormwater detention system and drainage calculations that bear the name, address,

and seal of a registered professional engineer and that meet the requirements of Article 24 of this ordinance and the design standards of the United States Natural Resource Conservation Service

19. Parking plan
20. Landscaping plan
21. Sign plan
22. Approved WV Division of Highways Access Permit, if applicable
23. Approved State of West Virginia NPDES General Permit for Storm Water Associated with Industrial (Construction) Activity, if applicable
24. Any other such information concerning the lot or neighboring lots as may be required by the Planning Director to determine conformance with, and provide for the enforcement of, this ordinance; where deemed necessary, the Planning Director may require that in the case of accessory structures or minor Additions, all dimensions shown on plans relating to the size of the lot and the location of the structure(s) be based on an actual survey by a registered land surveyor or professional engineer licensed by the State of West Virginia.
25. Where the Planning Director determines that any of the items listed above is unnecessary, he or she may waive its requirement.
26. No site plan shall be accepted unless it is complete and is verified as to the correctness of information given by the signature of the applicant attesting thereto.
27. The Planning Director may require that the lot and location of the building thereon shall be staked out on the ground before construction of a dwelling unit or primary structure is begun. The Planning Director, where deemed appropriate, may require the same for accessory structures or minor Additions. In any case, it shall be the owner's responsibility to ensure that a structure is placed on his property according to the approved site plan.
28. Site plans approved by the Planning Commission authorize only the use, arrangement, and construction set forth in such approved site plans and no other use, arrangement or construction. Furthermore, the approval of a site plan shall not be construed to be approval of any violation of the provisions of this ordinance. The issuance of a building permit based upon site plans given approval by the Planning Commission shall not prevent the Planning Director from thereafter requiring the correction of errors in said site plans or from preventing operations from being carried on when in violation with this ordinance.
29. One copy of the site plan submitted for a permit as required above for the Planning Commission shall be returned to the applicant after the Planning Commission has marked such copy as either approved or denied as to the provisions of this ordinance and attested to same by the signature of the Planning Director. The original, similarly marked, shall be retained by the Planning Department.

**B. Major Developments of Significant Impact**

Major Developments of Significant Impact (MDSI), as defined by the ordinance, are those that are of such scope and scale that they have an impact on the region in terms of the transportation network, the environment, the schools, etc. Such projects include regional shopping centers and large scale residential developments. All applications for a MDSI shall be accompanied by a site plan, submitted under the seal and signature of a professional engineer licensed to practice by the State of West Virginia, and shall observe the following format:

1. Sheet One (Title Sheet)
  - a. Full legal description with sufficient reference to section corners and boundary map of the subject project, including appropriate benchmark references
  - b. Name of the Project
  - c. Name and address of the owner, developer, and person who prepared the plans
  - d. Total acreage within the project and the number of residential dwelling units or the gross square footage of non-residential buildings
  - e. Existing zoning of the subject land and all adjacent lands
  - f. Boundary lines of adjacent tracts of land, showing owners of record
  - g. A key or vicinity map at a scale of one inch equals four hundred feet or less, showing the boundaries of the proposed project and covering the general area within which it is to be located
  - h. A statement of the proposed uses, stating the type and size of residential and non-residential buildings, and the type of business, commercial or industry, so as to reveal the effect of the project

on traffic, fire hazards, or congestion of population

- i. Proposed covenants, restrictions, by-laws, or articles of incorporation affecting property owners and/or homeowners associations; and
  - j. Statement of proposed starting and completion dates for the project, including any proposed phasing and sequencing.
2. Sheet Two (Existing Site Conditions)
  - a. Location, widths, and type of construction of all existing streets, street names, alleys, or other public ways and easements, street classifications, railroad and utility rights-of-way or easements, parks, wooded areas, cemeteries, watercourses, drainage ditches, designated wetlands, low areas subject to flooding, permanent buildings, bridges, and other data considered pertinent by the Commission or the Planning Director for the subject land, and within three hundred (300) feet of the proposed project;
  - b. Existing water mains, fire hydrants, storm sewers, sanitary sewers, culverts, bridges, and other utility structures or facilities within, adjacent to, or serving the subject land, including pipe sizes, grades, and locations;
  - c. Existing contours based in U.S.G.S. datum with intervals of not more than five (5) feet where the slope is greater than ten (10) percent and not more than two (2) feet where the slope is less than ten (10) percent. Elevations shall be based on sea level datum.
  - d. The water elevation at the date of the survey of lakes, streams, or designated wetlands within the project or affecting it, as well as the approximate high and low water elevation of such lakes, streams, or designated wetlands. The plan shall also show the contour line of the regulatory flood (100-year flood) elevation and the contour line for the floodway fringe boundary. All elevations shall be based on sea level datum.
3. Sheet Three (Proposed Site Conditions)
  - a. Location, widths, and type of construction of all existing and proposed streets, street names, alleys, or other public ways and easements, railroad and utility rights-of-way or easements, parks, wooded areas, cemeteries, watercourses, drainage ditches, designated wetlands, low areas subject to flooding, permanent buildings, bridges, and other data considered pertinent by the Commission or the Planning Director for the subject land, and within three hundred (300) feet of the proposed project.
  - b. Existing and proposed water mains, fire hydrants, storm sewers, sanitary sewers, culverts, bridges, and other utility structures or facilities within, adjacent to, or serving the subject land, including pipe sizes, grades, and locations.
  - c. Building setback lines, showing dimensions.
  - d. Full description and details, including engineering calculations, for provision of storm water drainage plans and facilities, including basin mapping. The standard for drainage detention is that the run-off rate of a 100-year post-development event cannot exceed the rate for a 10-year pre-development event.
  - e. Internal and perimeter sidewalk system/pedestrian circulation plan.
  - f. Proposed contours with intervals of not more than five (5) feet where the slope is greater than ten (10) percent and not more than two (2) feet where the slope is less than ten (10) percent. The plan shall also show the contour line for the floodway fringe boundary.
  - g. Show the location and detail plans for all trash dumpsters.
4. Sheet Four (Erosion Control Plan)
  - a. Location, widths, and type of construction of all existing and proposed streets, street names, alleys, or other public ways and easements, railroad and utility rights-of-way or easements, parks, wooded areas, cemeteries, watercourses, drainage ditches, designated wetlands, low areas subject to flooding, permanent buildings, bridges, and other data considered pertinent by the Commission or the Planning Director for the subject land, and within three hundred (300) feet of the proposed project.
  - b. Proposed contours with intervals of not more than five (5) feet where the slope is greater than ten (10) percent and not more than two (2) feet where the slope is less than ten (10) percent.

- c. Details of terrain and area drainage, including the identity and location of watercourses, intermittent and perennial streams, receiving waters, and springs, and the total acreage of land that will be disturbed.
  - d. The direction of drainage flow and the approximate grade of all existing or proposed streets.
  - e. Detailed plans and locations of all surface and subsurface drainage devices, walls, dams, sediment basins, storage reservoirs, and other protective devices to be constructed with, or as part of, the proposed project, together with a map showing the drainage area, the complete drainage network, including outfall lines and natural drainage ways which may be affected by the proposed development, and the estimated runoff of the area served by the drains.
  - f. A description of the methods to be employed in disposing of soil and other material that is removed from the grading site, including the location of the disposal site.
  - g. Measures for soil erosion and sediment control which must meet or exceed the methods and standards adopted by the West Virginia Department of Natural Resources and/or set forth in the West Virginia Handbook For Erosion Control in Developing Areas and which must comply with the design principles, performance standards, and requirements set forth.
  - h. A schedule of the sequence of installation of planned erosion and sediment control measures as related to the progress of the project, including the total area of soil surface that is to be disturbed during each stage, the anticipated starting and completion dates, and a schedule for the maintenance of such measures.
  - i. Copies of the letter of intent and response from the Kanawha County Soil and Water Conservation District office for compliance, when required.
  - j. Any other information reasonably required by the Commission or Planning Director to properly evaluate the plan.
5. Sheet Five (Landscape Plan)
- A landscape plan prepared to the standards specified in this zoning ordinance.
6. Sheet Six (Plat-like dedication sheet, if necessary)
- The following information shall be submitted if a plat-like dedication document for easements and rights-of-way is deemed necessary by the Planning Commission:
- a. Parcels of land proposed to be dedicated or reserved for public use, or reserved for common use of all property owners within the project, with the proposed conditions and maintenance requirements, if any, shall be designated as such and clearly labeled on the plans.
  - b. Radii, internal angles, points of curvature; tangent bearings and lengths of all arcs, chord, and chord bearings.
  - c. Accurate location of all survey monuments erected, corners and other points established in the field in their proper places.
7. All sheets shall contain the following information:
- a. The proposed name by which the project shall be legally and commonly known.
  - b. Date of survey, scale, and north point.
  - c. All lots or out lots intended for sale or lease shall be designated with boundary lines and numbered or labeled for identification purposes.
  - d. Private parks, common areas, or excluded parcels shall be designated as such and clearly labeled on the plans.
  - e. Such other information as may be deemed necessary for proper review of the site plan by the Planning Director, City Engineer, or Planning Commission.
  - f. All necessary reference points tying the subject property to the appropriate section corners.
  - g. Each sheet shall be sealed and signed by the professional engineer preparing the drawings.
  - h. All sheets shall be tied to state plane coordinates for horizontal and vertical controls.
  - i. Names and addresses of the parties within 200 feet of the property.
  - j. The applicant must provide stamped, self-addressed envelopes in sufficient quantities to provide

notification to the parties identified in the item above.

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

Faith R Cooper  
Signature

8/13/26  
Date

| Planning Department Use Only                                                                         |  |
|------------------------------------------------------------------------------------------------------|--|
| Comments:                                                                                            |  |
| Information pertaining to the property proposed for rezoning:                                        |  |
| Application reviewed by:                                                                             |  |
| MPC Action: <input checked="" type="checkbox"/> Recommended <input type="checkbox"/> Not recommended |  |
| Planning Official Signature and Title                                                                |  |
| Date                                                                                                 |  |

PROJECT SCOPE:

SITE CIVIL SCOPE ITEMS INCLUDE, BUT MAY NOT BE LIMITED TO:

1. INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL MEASURES PER PLANS AND WDEP REQUIREMENTS.
2. PROVIDE ALL TEMPORARY TRAFFIC CONTROLS NECESSARY PER PLANS AND WDOH REQUIREMENTS.
3. SITE CLEARING AND GRUBBING.
4. DEMOLITION OF ALL UNDERGROUND UTILITIES, PAVEMENT, SIDEWALK, CURBING, LIGHT POLES, ETC. AS NOTED ON THE PLANS.
5. CONSTRUCT FILL AND CUT AS SHOWN ON DRAWINGS
6. CONSTRUCT SITE UTILITIES, CATCH BASINS, AND STORM DRAINAGE LINES
7. CONSTRUCT ALL PROPOSED PARKING AND DRIVE AISLES, SIDEWALK, CURBING, ETC.
8. PERFORM FINAL GRADING AS SHOWN ON DRAWINGS
9. PERMANENTLY SEED AND MULCH ALL DISTURBED AREAS
10. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AS SITE IS PROPERLY STABILIZED PER WDEP REQUIREMENTS. CONTRACTOR TO CLOSE OUR PERMIT ONCE SITE HAS BEEN STABILIZED AND COORDINATED WITH WDEP.

SPECIFIC WORK ITEM EXCEPTIONS AND CLARIFICATIONS ARE NOTED ON THE DRAWINGS. THE PROJECT PLANS, DETAILS, AND SPECIFICATIONS SHALL BE REFERENCED FOR ADDITIONAL DETAILS REGARDING THE FULL SCOPE OF WORK.

CONTRACTORS SHALL BE RESPONSIBLE FOR ALL LABOR, MATERIALS, TAXES, PERMIT FEES, TAP FEES, AND OTHER ASSOCIATED FEES/COSTS WITH THE RESPECTIVE WORK AS SPECIFIED IN THE PROJECT DOCUMENTS UNLESS OTHERWISE NOTED.

PROJECT INFO:

PARCEL ID(S):

- 20-11-0017-0002
- 20-11-0017-0003
- 20-11-0017-0005
- 20-11-0017-0006
- 20-11-0017-0007
- 20-11-0017-0009
- 20-11-0017-0010
- 20-11-0017-0011

TOTAL PARCEL AREA: 1.45 AC – COMBINED ACREAGE AFTER CONSOLIDATION  
TAX MAP: 17  
DEED BOOK: 3170  
DEED PAGE: 0964

CURRENT ZONING: C10  
PROPOSED ZONING: C10

CURRENT USE: VACANT LOT – PREVIOUSLY MEDICAL OFFICE BUILDINGS W/ PARKING  
PROPOSED USE: HOSPITAL W/ PARKING

PROJECT AREA OF DISTURBANCE: 1.85 AC

PROJECT CONTACTS:

OWNER/CLIENT: VANDALIA HEALTH/CAMC  
CORPORATE DIRECTOR OF CONSTRUCTION OPERATIONS  
FAITH COOPER  
EMAIL: FAITH.COOPER@VANDALIAHEALTH.ORG  
PHONE: (304)-388-5022

PICKERING ASSOCIATES:  
PROJECT MANAGER/ENGINEER  
SPENCER KIMBLE PE  
EMAIL: SKIMBLE@PICKERINGUSA.COM  
PHONE: (304)-464-5305

UTILITIES:

WATER:

WEST VIRGINIA AMERICAN WATER  
HENRY PERKINS  
EMAIL: HENRY.PERKINS@AMWATER.COM  
PHONE: (304)-340-2986

SEWER:

CHARLESTON SANITARY BOARD  
TIM HAAPALA  
EMAIL: THAAPALA@CSB-WV.COM  
PHONE: (304)-348-8136

GAS:

MOUNTAINEER GAS COMPANY  
ANDREW BAYS  
EMAIL: ANDREW.BAYS@MGWVWV.COM  
PHONE: (888)-420-4427

ELECTRICAL:

AEP  
PHONE: (304)-746-2655

OXYGEN:

AIRGAS  
BULK SALES SPECIALIST  
STEVE ARAVE  
EMAIL: STEVE.ARAVE@AIRGAS.COM  
PHONE: (502)-974-5505

AUTHORITY CONTACTS:

CHARLESTON PLANNING DEPARTMENT  
DIRECTOR  
DAN VRIENDT  
EMAIL: PLANNING@CITYOFCHARLESTON.ORG  
PHONE: (304)-348-8105

CHARLESTON BUILDING COMMISSION  
PHONE: (304)-348-6833

WEST VIRGINIA DOH DISTRICT  
PHONE: (304)-558-3001

WEST VIRGINIA DEP  
PHONE: (304)-926-0440

WEST VIRGINIA BUREAU OF PUBLIC HEALTH  
PHONE: (304)-558-0684

PROJECT REFERENCES:

SURVEY:  
PICKERING ASSOCIATES  
COMPLETED: 08/2025

SITE CIVIL SHEET LIST

| SHEET INDEX  |                                            |
|--------------|--------------------------------------------|
| Sheet Number | Sheet Title                                |
| C000         | SITE INDEX & LEGEND                        |
| C001         | SITE GENERAL NOTES                         |
| C100         | SITE EXISTING CONDITIONS & DEMOLITION PLAN |
| C200         | SITE LAYOUT PLAN OVERVIEW                  |
| C201         | SITE LAYOUT PLAN                           |
| C202         | SITE LAYOUT PLAN                           |
| C203         | SITE LAYOUT PLAN                           |
| C300         | SITE GRADING PLAN OVERVIEW                 |
| C301         | SITE GRADING PLAN                          |
| C302         | SITE GRADING PLAN                          |
| C303         | SITE GRADING PLAN                          |
| C304         | SITE GRADING PLAN STORMWATER PROFILES      |
| C305         | SITE GRADING PLAN STORMWATER PROFILES      |
| C306         | SITE GRADING PLAN SITE CROSS SECTIONS      |
| C307         | SITE GRADING PLAN STORMWATER TABLES        |
| C400         | SITE UTILITY LAYOUT PLAN OVERVIEW          |
| C401         | SITE UTILITY LAYOUT PLAN                   |
| C402         | SITE UTILITY LAYOUT PLAN                   |
| C403         | SITE UTILITY LAYOUT PLAN                   |
| C500         | SITE E&S CONTROLS DETAILS                  |
| C501         | SITE DETAILS                               |
| C502         | SITE DUMPSTER PAD DETAILS                  |
| C503         | SITE UTILITIES DETAILS                     |
| C504         | SITE STORMWATER DETAILS                    |
| C505         | SITE STORMWATER DETAILS                    |
| C506         | SITE STORMWATER DETAILS                    |
| C507         | SITE STORMWATER DETAILS                    |
| C600         | SITE EROSION & SEDIMENT CONTROL PLAN       |
| C601         | PRE-CONSTRUCTION DRAINAGE AREA MAP         |
| C602         | POST-CONSTRUCTION DRAINAGE AREA MAP        |

PROPOSED SYMBOL LEGEND:

- SANITARY MANHOLE
- STORMWATER MANHOLE
- STORMWATER CATCH BASIN
- STORMWATER CULVERT
- CLEAN-OUT
- FIRE HYDRANT
- LIGHT POLE
- UTILITY POLE
- GAS / WATER VALVE
- WATER METER
- GAS METER
- SIGN ON POST
- BOLLARD
- ADA RAMP TRUNCATED DOME
- SOIL BORING/BENCH MARK
- CODED NOTE
- DETAIL CALLOUT
- SPOT ELEVATION
- PROPOSED MAJOR CONTOUR LABEL
- PROPOSED SURFACE GRADE
- PROPOSED SURFACE SLOPE

PROPOSED LINETYPE LEGEND:

- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- BUILDING OUTLINE
- PROPERTY LINE
- LOT LINE
- RIGHT-OF-WAY
- T/E
- OVER HEAD TELEPHONE/ELECTRIC LINE
- UTE
- UNDERGROUND TELEPHONE/ELECTRIC LINE
- T
- OVER HEAD TELEPHONE LINE
- UGT
- UNDERGROUND TELEPHONE LINE
- E
- OVER HEAD ELECTRIC LINE
- UGE
- UNDERGROUND ELECTRIC LINE
- SS
- SANITARY SEWER LINE
- S
- STORMWATER LINE
- G
- GAS LINE
- V
- WATER LINE
- C
- COMMUNICATION LINE
- UNDERDRAIN
- WATER EDGE
- DITCH OR SWALE
- GRADE BREAK LINE
- C
- GRADING LIMITS (CUT)
- F
- GRADING LIMITS (FILL)
- CONSTRUCTION/CONTROL JOINT
- CHAIN LINK FENCE
- WOODEN/DECORATIVE FENCE
- X
- BARBED WIRE FENCE
- GT
- FENCE GATE
- BOUNDARY
- CENTERLINE
- RAILING
- EXISTING GROUND/GRADE PROFILE LINE
- FINISHED GROUND/GRADE PROFILE LINE
- LDD
- LIMIT OF DISTURBANCE

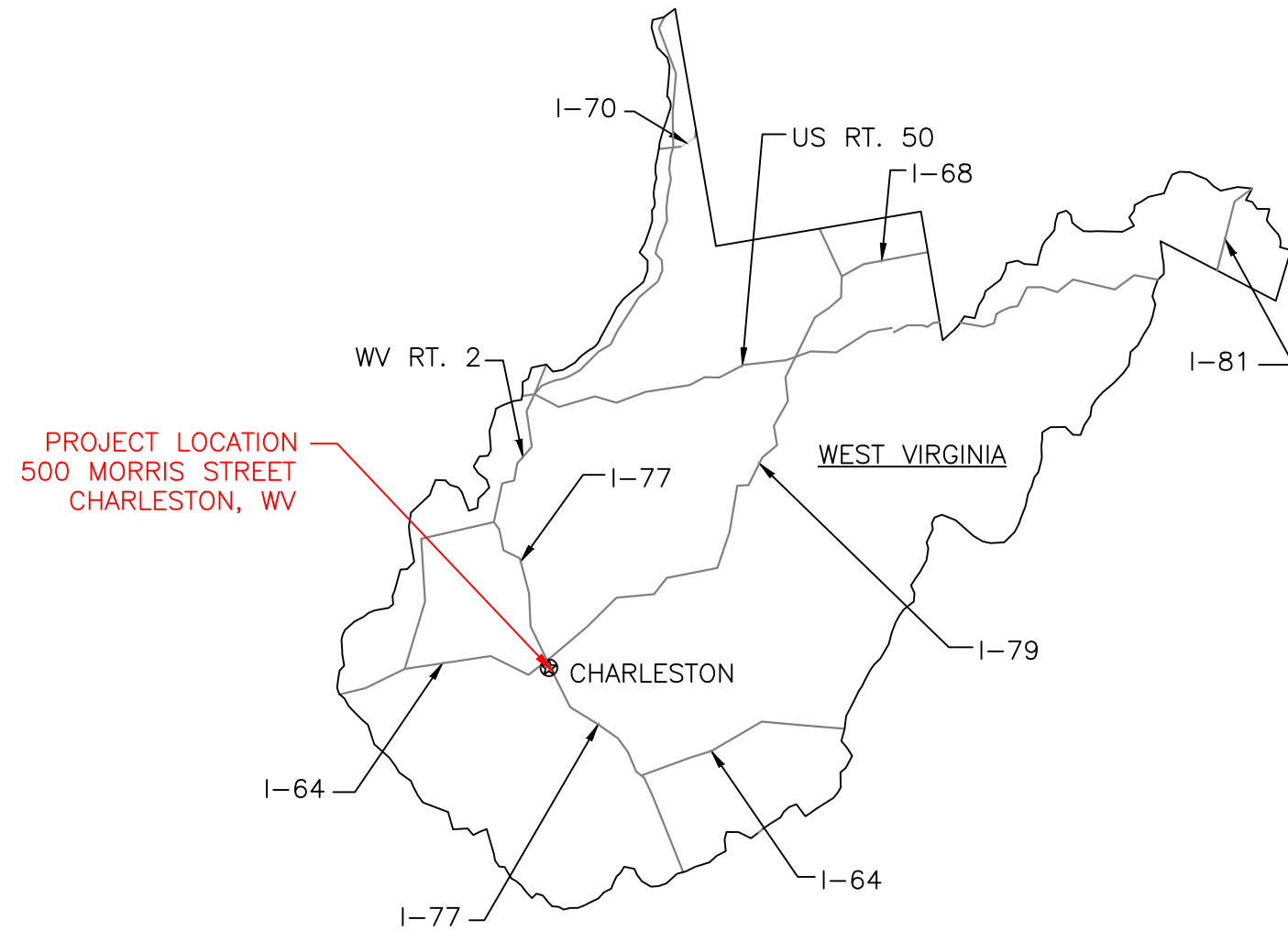
PROPOSED MATERIAL LEGEND:

- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- 8" CONCRETE SIDEWALK AT DRIVEWAYS
- 4" CONCRETE SIDEWALK
- 4" CONCRETE SIDEWALK & CURB – MATCH EXISTING WIDTH AND GRADE
- GRASS LAWN/LANDSCAPING  
SEE LANDSCAPE DESIGN SHEETS L100 TO L102

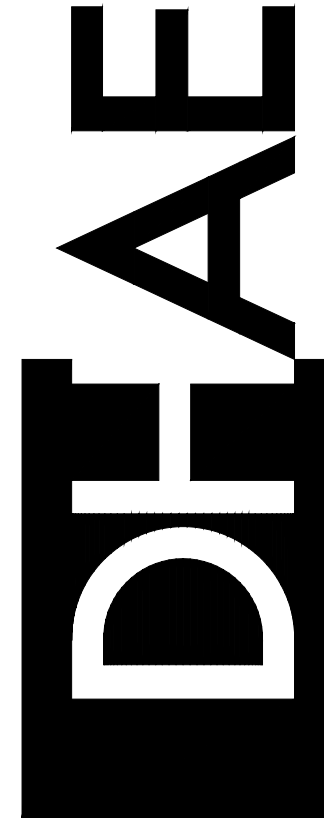
SITE LOCATION PLAN



VICINITY PLAN



WEST VIRGINIA STATE LAW  
REQUIRES THAT YOU CALL  
48 HOURS BEFORE YOU DIG  
CALL TOLL FREE: 800-245-4848



KALAMAZOO OFFICE  
612 South Park Street  
Kalamazoo, Michigan 49007

GRAND RAPIDS OFFICE  
15 Ionia SW - Suite 330  
Grand Rapids, Michigan 49503



MPB AT VANDALIA HEALTH REHABILITATION HOSPITAL  
MARY FREE BED AT VANDALIA HEALTH  
500 MORRIS STREET  
CHARLESTON, WV 25301

REVISIONS:

ISSUED:

AUGUST 13, 2026

PROJECT NUMBER:

PA# 2255018

SHEET TITLE:

SITE INDEX & LEGEND

SHEET NUMBER:

C000  
SCHEMATIC DESIGN

This drawing, as an instrument of service, is owned by the design team architect, Inc. Reproduction of this document is prohibited without express authorization from the architect.

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A. GOVERNING SPECIFICATIONS

1. THE GOVERNING SPECIFICATIONS FOR THE PROJECT ARE THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, STANDARD SPECIFICATIONS ROADS AND BRIDGES, ADOPTED 2017 (FROM HERE ON REFERRED TO AS WVDOT) IN CONJUNCTION WITH THE WEST VIRGINIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (WVDEP) STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, CURRENT GUIDELINES ESTABLISHED BY THE AMERICANS WITH DISABILITIES ACT, PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROWAG), DATED JULY 26, 2011, ADA STANDARDS FOR ACCESSIBLE DESIGN, SATED SEPTEMBER, 15, 2010, MANUAL OF RULES AND REGULATIONS FOR CONSTRUCTING DRIVEWAYS ON STATE RIGHT OF WAY, CHARLESTON UTILITY BOARD DIRECTIVES, UTILITY COMPANY REQUIREMENTS, AND THE FOLLOWING MANUALS, LATEST EDITION: WVDOT TRAFFIC CONTROL FOR STREET AND HIGHWAY CONSTRUCTIONS AND MAINTENANCE OPERATIONS, WVDOT STANDARD DETAILS BOOK VOLUMES I AND II, WVDOT ACCOMMODATION OF UTILITIES ON HIGHWAY RIGHT OF WAY, WVDOT MANUAL ON RULES AND REGULATIONS FOR CONSTRUCTING DRIVEWAYS ON STATE HIGHWAY RIGHTS-OF-WAY, WVDOT TYPICAL SECTIONS AND RELATED DETAILS, AND THE WVDOT EROSION AND SEDIMENT CONTROL MANUAL. THE CONTRACT DOCUMENTS ARE THE GOVERNING PROVISIONS APPLICABLE TO THE PROJECT.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE GOVERNING AUTHORITIES HAVING JURISDICTION INCLUDING ALL APPLICABLE CODES, SPECIFICATIONS, STANDARDS, AND GUIDELINES ADOPTED BY SUCH AUTHORITIES.
3. DISCREPANCIES BETWEEN THE PLANS AND VARIOUS CODES, STANDARDS, SPECIFICATIONS, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR REMEDIATION.
4. THE CONTRACT DOCUMENTS SHALL SUPPLEMENT AND AMEND THE GOVERNING SPECIFICATIONS/OTHER REFERENCED SPECIFICATIONS AND SHALL RULE IN CASE OF CONFLICT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER ACQUIRE REFERENCE SPECIFICATIONS OR CONTACT THE ENGINEER CONCERNING HOW TO ACQUIRE SUCH SPECIFICATIONS.

B. PERMITS

1. ALL OUTSTANDING FEDERAL, STATE, AND LOCAL PERMITS ASSOCIATED WITH THE PROJECT SHALL BE OBTAINED. THE COST OF ALL PERMITS SHALL BE INCIDENTAL TO THE PROJECT BID.
2. PROPER PERMIT DOCUMENTATION SHALL BE KEPT ON SITE AT ALL TIMES AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RESPECTIVE PERMITS. ALL PERMIT CONDITIONS SHALL PROPERLY COMPLETED (E.G. INSPECTION SCHEDULING).
3. ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
4. THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING PERMIT APPLICATIONS TO THE DEVELOPER/CONTRACTOR, PROVIDING ENGINEERING DATA REQUIRED BY THE PERMIT, AND PROVIDING LIMITED ASSISTANCE WITH APPLICATION COMPLETION. DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE FOR AUTHORITY COORDINATION, COMPLETION OF PERMIT APPLICATIONS, AND PERMIT ACQUISITIONS.

C. INSPECTIONS, SAMPLING, AND TESTING

1. ALL INSPECTIONS, SAMPLING, AND TESTING OF WORK ITEMS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: EXCAVATION, EMBANKMENT, SOIL COMPACTION, SUBGRADE PREPARATION, BACKFILL, AGGREGATE BASE, CONCRETE, AND ASPHALT SHALL BE IN ACCORDANCE WITH THE WVDOT STANDARD SPECIFICATIONS, PROJECT SOILS REPORT, MANUFACTURER SPECIFICATIONS, ACI 301/318, THE PROJECT DOCUMENTS, AND AUTHORITIES HAVING JURISDICTION. INSPECTION, SAMPLING, AND TESTING SHALL BE PERFORMED BY AN INDEPENDENT, CERTIFIED TESTING AGENCY APPROVED BY THE DEVELOPER AND EMPLOYED BY THE CONTRACTOR. ALL RESULTS SHALL BE PROMPTLY REPORTED TO THE ENGINEER. THE DEVELOPER, AT THEIR EXPENSE, MAY ALSO RETAIN A QUALIFIED PROFESSIONAL TO PERFORM INDEPENDENT QUALITY CONTROL/ASSURANCE CHECKS ON THE CONTRACTOR'S WORK. WHERE QC/QA REQUIREMENT CONFLICTS EXIST, PROJECT MANUAL REQUIREMENTS SHALL RULE. WHERE DOH SPECIFICATIONS APPLY, THE CONTRACTOR SHALL PERFORM DUTIES ASCRIBED TO THE "CONTRACTOR" WITH THE DEVELOPER RESERVING THE OPTION TO PERFORM DUTIES SIMILAR OR DIFFERENT TO THOSE ASCRIBED TO THE "DIVISION".

D. MISCELLANEOUS

1. THE INFORMATION SHOWN ON THESE DRAWINGS IS BASED UPON EXISTING DRAWINGS, THE TOPOGRAPHIC SURVEY, MISS UTILITY FIELD MARKS INDICATING THE LOCATION OF BURIED UTILITIES (WITH NO INDICATION OF DEPTHS GIVEN), APPROXIMATE DEPTH INFORMATION PROVIDED BY UTILITY COMPANIES, AND DEVELOPER-PROVIDED INFORMATION.
2. ALL ADJACENT STRUCTURES AND UTILITY SERVICES SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ALL EXISTING FEATURES (E.G. CURBS, TREES, BUSHES, PAVING, ETC.) DAMAGED BY CONSTRUCTION SHALL BE RESTORED TO A CONDITION SATISFACTORY TO THE DEVELOPER.
3. ALL PHASES OF WORK SHALL BE SUBJECT TO INSPECTION, TESTING AND ACCEPTANCE BY ENGINEER AND/OR DEVELOPER.
4. A SAFE AND ORDERLY WORKSITE SHALL BE MAINTAINED AT ALL TIMES.
5. THE LOADING/UNLOADING AND HAULING OF ALL MATERIALS TO AND FROM THE CONSTRUCTION SITE SHALL BE INCLUDED.
6. ALL CONSTRUCTION WORK RELATED TO THESE DRAWINGS SHALL BE COORDINATED WITH THE DEVELOPER AND OTHER CONTRACTORS THAT MAY BE INVOLVED WITH THE PROJECT.
7. ALL NECESSARY BARRICADING AND FLAGGING SHALL BE PROVIDED IN ORDER TO PROTECT THE SAFETY OF THE WORKERS AND THE GENERAL PUBLIC. TRAFFIC INTERRUPTIONS SHALL BE MINIMIZED AND COORDINATED WITH THE CITY OF CHARLESTON AND THE WVDOT.

E. WASTE MATERIAL

1. ALL MATERIAL REMOVED AND NOT REUSED IN THE CONSTRUCTION OF THIS PROJECT SHALL BE REMOVED FROM THE PROJECT AND PROPERLY DISPOSED IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITIES.

F. BENCH MARKS

1. BENCH MARK LOCATIONS SHALL BE HELD/PROTECTED THROUGHOUT THE LIFE OF THE PROJECT. IN THE EVENT A BENCH MARK IS DISTURBED, THE BENCH MARK SHALL BE RELOCATED OR REESTABLISHED AS DIRECTED BY THE ENGINEER. NO ADDITIONAL PAYMENT OR COMPENSATION WILL BE MADE FOR THIS WORK. BENCH MARK NORTHINGS, EASTINGS, ELEVATIONS, AND DESCRIPTIONS SHALL BE REFERENCED ON DRAWING NUMBER 0100. THE COORDINATE GRID IS BASED ON THE SURVEY NORTH ARROW SHOWN ON THE PLAN.

G. ACCESS

1. SAFE ACCESS SHALL BE PROVIDED AT ALL TIMES TO THE RESIDENTS AND BUSINESSES AFFECTED BY CONSTRUCTION. ALL ACCESS SHALL BE IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). ALL TRAFFIC FLOW DISTURBANCES SHALL BE MINIMIZED. ALL DISTURBANCES MUST BE ACCOMPLISHED SAFELY AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

H. VERIFICATIONS

1. ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

I. UTILITIES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. ALL EXISTING UTILITIES WITHIN THE WORK AREA SHALL BE FIELD VERIFIED. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING UTILITIES INCLUDING, BUT NOT LIMITED TO, PROVIDING PROTECTIVE MEASURES DURING CONSTRUCTION. CORRECTION OF ANY DAMAGE TO UTILITIES SHALL BE MADE AT NO ADDITIONAL COST TO THE DEVELOPER.
2. UNLESS NOTED OTHERWISE, UTILITY DEPTHS THAT COULD POSE CONFLICTS WITH CONSTRUCTION SHALL BE FIELD LOCATED PRIOR TO COMMENCEMENT OF CONSTRUCTION. DEPTHS SHALL BE RECORDED AND SUBMITTED TO THE ENGINEER FOR POSSIBLE RELOCATION/MODIFICATION DETERMINATION. ALL WORK ASSOCIATED WITH THE RELOCATION OF THESE QUESTIONABLE UTILITIES SHALL BE AS DIRECTED BY THE DEVELOPER (CHANGE ORDER AT TIME OF CONSTRUCTION). ALL ACTIVITIES, TIMING, AND DURATION OF THE UTILITY RELOCATIONS SHALL BE COORDINATED WITH THE DEVELOPER AND THE UTILITY COMPANY INVOLVED.
3. UTILITY LINES PLACED UNDER DRIVES AND PARKING LOTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE TRENCH DETAIL FROM THE WVDOT TYPICAL SECTIONS AND RELATED DETAILS PUBLICATION. BACKFILL FOR UTILITY LINES PLACED UNDER CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH TYPE B TRENCH. TYPE B AND D TRENCHES SHALL BE REFERENCED FOR UTILITY LINES PLACED UNDER EXISTING PAVEMENT. PIPE, CONDUIT, JOINTS, FITTINGS, TRENCH SECTIONS, ETC. SHALL BE IN ACCORDANCE WITH THE RESPECTIVE UTILITY PROVIDER'S SPECIFICATIONS AND REQUIREMENTS.

J. FINAL CLEAN-UP

1. ALL PROPERTY, BOTH PUBLIC AND PRIVATE, WHICH HAS BEEN DAMAGED DURING THE EXECUTION OF THE WORK SHALL BE RESTORED IN AN ACCEPTABLE MANNER. THE SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION.
2. ALL WORK MUST MEET THE ENGINEER'S AND DEVELOPER'S APPROVAL.

K. CLEARING AND GRUBBING

1. ALL AREA WITHIN THE CONSTRUCTION LIMITS SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH ITEM 201001-000. ALL TOPSOIL SHALL BE REMOVED IN ACCORDANCE WITH ITEM 207001-001. STUMPS, ROOTS, AND OTHER VEGETATION SHALL BE DISCARDED AND ALL REMAINING TOPSOIL STOCKPILED FOR USE IN FINISHED GRADING/SEEDING AND MULCHING.

L. REMOVING DRAINAGE STRUCTURES

1. ANY EXISTING DRAINAGE STRUCTURES, HEADWALLS, AND PIPES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE COST OF THE REMOVAL OF EXISTING PIPES, INLETS, AND HEADWALLS SHALL BE INCIDENTAL TO THE PROJECT AND SHALL INCLUDE REMOVAL, CAPPING, DISPOSAL, AND BACKFILL WITH SUITABLE MATERIAL. NO ADDITIONAL PAYMENT OR MEASUREMENT WILL BE MADE FOR THIS WORK.

M. DRAINAGE

1. WORKING STORM DRAINAGE SYSTEMS THROUGHOUT THE WORK AREAS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. THE WORKING SYSTEM MAY CONSIST OF THE EXISTING STORM DRAINAGE SYSTEM, THE PROPOSED STORM DRAINAGE SYSTEM, OR A COMBINATION THEREOF. THE SITE SHALL BE GRADED TO DRAIN AND BE MAINTAINED FREE OF PONDING AT ALL TIMES. TEMPORARY DRAINS, SUMPS, PORTABLE PUMPING EQUIPMENT, ETC. SHALL BE UTILIZED AS REQUIRED. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND NOT ALTER EXISTING DRAINAGE CONDITIONS WITH RESPECT TO NEIGHBORING AND DOWNSTREAM PROPERTIES.
2. ALL PIPES TO REMAIN SHALL BE CONNECTED TO THE DRAINAGE SYSTEM OR HAVE POSITIVE OUTLET. ALL DRAINAGE OUTLET STRUCTURES SHALL BE FIELD ADJUSTED AS REQUIRED TO MATCH THE EXISTING GROUND AS DIRECTED BY THE ENGINEER. ALL EXISTING DRAINAGE FACILITIES SHALL BE FIELD VERIFIED.
3. THE COST OF ALL MATERIALS AND WORK NECESSARY FOR THE INSTALLATION OF CATCH BASINS, PIPE, ETC. SHALL BE INCIDENTAL TO THE PROJECT. ALL WORK ASSOCIATED WITH PLACEMENT OF STORM PIPE (E.G. TRENCHING, BEDDING, BACKFILL, ETC.) SHALL BE IN ACCORDANCE WITH WVDOT 604 AND THE STANDARD DETAILS BOOK. ALL PIPE LOCATED UNDER PAVEMENT/EXISTING PAVEMENT SHALL BE BACKFILLED/CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE TRENCH DETAIL FROM THE WVDOT TYPICAL SECTIONS AND RELATED DETAILS PUBLICATION.

N. TEMP. SEDIMENT AND EROSION CONTROL AND STORM WATER POLLUTION PREVENTION PLAN

1. ALL TEMPORARY SEDIMENT AND EROSION CONTROL AND STORM WATER POLLUTION PREVENTION ACTIVITIES SHALL BE PROVIDED AS REQUIRED. THE COST OF FURNISHING AND INSTALLING ALL MATERIALS NECESSARY FOR THE WORK SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. ALL STATE AND FEDERAL REGULATIONS, INCLUDING THE WVDOT STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE WVDOT EROSION AND SEDIMENT CONTROL MANUAL AND WVDOT 642/652, SHALL BE OBSERVED. IN THE EVENT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE ORDERED BY THE ENGINEER DUE TO THE CONTRACTOR'S NEGLIGENCE, CARELESSNESS, OR FAILURE TO INSTALL REQUIRED CONTROLS AS PART OF THE WORK SCHEDULE, SUCH WORK SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE DEVELOPER. WHERE APPLICABLE, THE CONDITIONS OF THE NPDES CONSTRUCTION STORM WATER GENERAL PERMIT SHALL BE MET DURING ALL STAGES OF CONSTRUCTION. THE LOCATION AND TIMING OF ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE FIELD ADJUSTED TO PREVENT SIGNIFICANT IMPACTS ON RECEIVING WATERS. IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN SHALL CONTINUE THROUGHOUT THE DURATION OF THE PROJECT OR UNTIL SUCH TIME THAT THE UPSLOPE DISTURBED AREAS ARE STABILIZED. ALL REASONABLE ATTEMPTS SHOULD BE MADE TO MINIMIZE THE TOTAL AREA OF DISTURBED LAND. ALL AREAS THAT ARE TO REMAIN DORMANT FOR MORE THAN 14 DAYS, BUT LESS THAN 1 YEAR, SHALL BE STABILIZED WITH ITEM 642004-001, SEED MIXTURE, TEMPORARY WITHIN 4 DAYS OF THE MOST RECENT DISTURBANCE. AREAS THAT ARE TO REMAIN DORMANT FOR MORE THAN 1 YEAR SHALL BE STABILIZED WITH PERMANENT SEEDING AND MULCHING WITHIN 4 DAYS OF THE MOST RECENT DISTURBANCE. MEASURES SHALL BE MAINTAINED/REPLACED AS REQUIRED. DRAWINGS SHALL BE REFERENCED FOR ADDITIONAL INFORMATION.

ALL DISTURBED AREAS OVER 50 FEET AWAY FROM A STREAM THAT ARE TO REMAIN DORMANT FOR MORE THAN 14 DAYS, BUT LESS THAN 1 YEAR, SHALL BE STABILIZED WITH ITEM 207. CONSTRUCTION SEEDING AND MULCHING WITHIN 4 DAYS OF THE MOST RECENT DISTURBANCE. OTHER SUCH AREAS THAT ARE TO REMAIN DORMANT FOR MORE THAN 1 YEAR SHALL BE STABILIZED WITH PERMANENT SEEDING AND MULCHING WITHIN 4 DAYS OF THE MOST RECENT DISTURBANCE. AREAS WITHIN 50 FEET OF A STREAM SHALL BE STABILIZED WITHIN 2 DAYS. MEASURES SHALL BE MAINTAINED/REPLACED AS REQUIRED.

SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED WITHIN 4 DAYS OF GRUBBING FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.

O. WORK STOPPAGE

1. ANY WORK STOPPAGE INCURRED DUE TO THE CONTRACTOR'S NEGLIGENCE OR FAILURE TO COMPLY WITH A MITIGATION ITEM SHALL BE REMEDIED AT COST TO THE DEVELOPER.
2. SEDIMENT AND EROSION CONTROL FEATURES SHALL BE OPERATED AND MAINTAINED IN AN ACCEPTABLE CONDITION.
3. WHEN ANY EROSION OR SEDIMENT CONTROL FEATURE HAS REACHED HALF ITS CAPACITY, THE DEVICE SHALL BE CLEANED OUT AND RESTORED TO ITS ORIGINAL CONDITION.
4. A SPILL PREVENTION, CONTROL, AND COUNTERMEASURES (SPCC) PLAN THAT ITEMIZES SPECIFIC MEASURES THAT WILL BE IMPLEMENTED TO PREVENT AND CLEAN UP CHEMICAL AND PETROLEUM PRODUCT SPILLS THAT MAY OCCUR DURING ALL PHASES OF PROJECT CONSTRUCTION SHALL BE PREPARED. FUEL STORAGE AND REFUELING ACTIVITIES, EQUIPMENT MAINTENANCE ACTIVITIES, AND EQUIPMENT WASHING SHALL BE KEPT AT LEAST 500 FEET AWAY FROM ANY PERENNIAL OR INTERMITTENT WATERCOURSE OR WETLAND.

P. SEEDING, FERTILIZING, AND MULCHING

1. UNLESS NOTED OTHERWISE, ALL DISTURBED SOIL AREAS ARE TO BE SEEDED, FERTILIZED, AND MULCHED. SEEDING, FERTILIZING, AND MULCHING WILL BE AS SPECIFIED IN WVDOT 652. AREAS 3:1 OR FLATTER SHALL RECEIVE A TYPE C-2 MIXTURE (DEVELOPER-APPROVED LAWN MIX). AREAS STEEPER THAN 3:1 SHALL RECEIVE A TYPE L MIXTURE. DISTURBED AREAS OVER 50 FEET AWAY FROM A STREAM SHALL BE SEEDED AND MULCHED WITHIN 4 DAYS OF REACHING FINAL GRADE. OTHER SUCH AREAS SHALL BE SEEDED AND MULCHED WITHIN 2 DAYS OF REACHING FINAL GRADE. TESTING WILL NOT BE REQUIRED ON THESE ITEMS PURCHASED FROM A REPUTABLE DEALER. ALL DAMAGES TO PREVIOUSLY SEEDED AREAS SHALL BE REPAIRED.

Q. TREE REMOVAL

1. ALL TREES NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OFF-SITE. TREES SHALL BE SUBSTANTIALLY REMOVED IN THEIR ENTIRETY IN ACCORDANCE WITH ITEM 201001-000 AND STRUCTURALLY BACKFILLED WITH SUITABLE MATERIAL. ALL WORK SHALL BE INCIDENTAL TO THE PROJECT.

R. PAVEMENT MARKINGS AND SIGNAGE

1. PARKING LOT STALL MARKINGS, CHANNELIZATION LINES, AND HANDICAP SYMBOLS SHALL BE PAINTED IN ACCORDANCE WITH WVDOT 663. HANDICAP SYMBOLS AND SIGNAGE SHALL BE IN ACCORDANCE WITH WVDOT AND 28 CFR REGULATIONS.
2. ADA ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. THE ADA VAN ACCESSIBLE SPACE SHALL HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. FEDERAL CODE OF REGULATIONS 28 CFR PART 36 APPENDIX A 4.6.4. SHALL BE REFERENCED FOR ADDITIONAL INFORMATION.

S. DEMOLITION

1. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN APPROVED LANDFILL.

T. EARTHWORK

1. SOIL DESIGNATED AS UNSUITABLE (E.G. TOPSOIL) SHALL BY NO MEANS BE USED AS FILL MATERIAL. ALL EXCAVATION AND EMBANKMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WVDOT 207/211/228, THE PROJECT SOILS REPORT, AND THE PROJECT DOCUMENTS. ALL EARTHWORK SHALL ALSO BE IN DIRECT ACCORDANCE WITH OSHA REQUIREMENTS. TEMPORARY SHORING, TRENCH BOXES, SUMP PUMPS, BORING/JACKING, UNDERPINNING, TIEBACKS, ETC. SHALL BE DESIGNED BY CONTRACTOR AND USED DURING CONSTRUCTION AS REQUIRED.

2. THE CERTIFIED TESTING AGENCY SHALL VERIFY ALL SUBGRADES HAVE BEEN COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM DRY DENSITY (OBTAINED IN ACCORDANCE WITH ASTM STANDARD METHOD D-698), ARE NOT FROZEN, HAVE ALLOWABLE BEARING CAPACITIES OF NO LESS THAN 1500 PSF, AND ARE NEAR OPTIMUM MOISTURE CONTENT (+2%/-3%). IF REQUIRED, THE AGENCY'S GEOTECHNICAL ENGINEER SHALL ALSO RECOMMEND THE LIMITS OF ADDITIONAL EXCAVATION. ALL SUBGRADES SHALL BE INSPECTED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO PLACEMENT OF EMBANKMENT, AGGREGATE, CONCRETE, ASPHALT, ETC. THE UPPER 12" OF SUBGRADE SOILS DIRECTLY BELOW PAVEMENT BASE STONE SHALL HAVE 100% COMPACTION. IF UNSUITABLE MATERIAL IS FOUND AT THE DRAWING SUBGRADE DEPTHS, ADDITIONAL EXCAVATION SHALL BE REQUIRED UNTIL SUITABLE BASES ARE ENCOUNTERED. ADDITIONAL EXCAVATIONS ARE TO BE BACKFILLED WITH PROPERLY COMPACTED ENGINEERED (CONTROLLED) FILL OR AGGREGATE BASE MATERIAL. THE AGGREGATE BASE SHALL BE ITEM 307001-000 AND BE PLACED ON A SUBGRADE PROPERLY PREPARED IN ACCORDANCE WITH WVDOT 307. UNLESS NOTED OTHERWISE, AGGREGATE BASE SHALL BE PLACED IN MAXIMUM 6" COMPACTED DEPTH LIFTS AND COMPACTED TO AT LEAST 100% PER ASTM D-698 AT OPTIMUM MOISTURE CONTENT. ALTERNATE METHODS AND MATERIALS CORRESPONDING TO SUBGRADE PREPARATION MAY BE REQUIRED DURING CONSTRUCTION. ALTERNATE METHODS MUST BE APPROVED BY THE ENGINEER.
3. THE BID SUM SHALL INCLUDE ALL EARTHWORK AS REQUIRED TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE PROJECT DOCUMENTS. THE UNIT COSTS FOR EARTHWORK (SUBMITTED WITH THE BID FORM) SHALL BE USED TO ADJUST THE CONTRACT SUM BY BEING APPLIED TO SUBSTANTIAL ADDITIONS/DEDUCTIONS IN EXCAVATION/EMBANKMENT RESULTING FROM SCOPE CHANGES AND/OR EXTREME LIMIT DIRECTIVES ORDERED BY THE INSPECTING GEOTECHNICAL ENGINEER AND APPROVED BY THE ENGINEER.
4. EXCESS EXCAVATION NOT REUSED ON SITE SHALL BE RELOCATED AND SPOILED OFF SITE. SPOILS SHALL ONLY BE KEPT ON SITE WHEN SO SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER. SPOILS AREAS SHALL BE PROPERLY SCALPED, BENCHED, AND CONSTRUCTED. UNLESS NOTED OTHERWISE, COMPACT IN ACCORDANCE WITH OTHER SITE STRUCTURAL EMBANKMENTS. TOPSOIL AND OTHER UNSUITABLE MATERIAL SHALL BE USED FOR FINISHED GRADING ONLY. SPOILS AREAS SHALL BE SEEDED IN ACCORDANCE WITH THE PROJECT DOCUMENTS.

U. PAVEMENT SUBGRADE

1. TOPSOIL, ORGANIC MATERIAL, AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED TO THE SUBGRADE DEPTH AT A MINIMUM. ALL EXCAVATION, EMBANKMENT, SUBGRADE PREPARATION, AND AGGREGATE BASE CONSTRUCTION SHALL BE IN ACCORDANCE WITH WVDOT 207/211/228/307, PROJECT SOILS REPORT, AND THE PROJECT DOCUMENTS. THE DEVELOPER HOLDS THE RIGHT TO REQUEST ALL UNSUITABLE SOIL BE STOCKPILED ON SITE OR DISPOSED OF OFF-SITE BY THE CONTRACTOR. THE SUBGRADE SHALL BE INSPECTED PRIOR TO PLACEMENT OF AGGREGATE BASE AND THE UPPER 6" VERIFIED TO CONSIST OF SUITABLE SOIL FREE OF PARTICLES LARGER THAN 3" AND HAVE BEEN COMPACTED TO AT LEAST 100% OF THE MATERIAL'S MAXIMUM DRY DENSITY (OBTAINED IN ACCORDANCE WITH ASTM STANDARD METHOD D-698). UNSUITABLE MATERIAL ENCOUNTERED AT THE SUBGRADE DEPTH SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR AGGREGATE BASE AS REQUIRED TO OBTAIN THE PROPER SUBGRADE PREPARATION.

V. CONCRETE

1. ALL CONCRETE AND REINFORCEMENT SHALL BE IN ACCORDANCE WITH EACH ITEM'S RESPECTIVE WVDOT STANDARD SPECIFICATION SECTION. OTHERWISE, CONCRETE SHALL BE MODIFIED CLASS B WITH A 28 DAY STRENGTH OF 4000 PSI, REINFORCING STEEL SHALL BE DEFORMED AND CONFORM TO ASTM A-615 GRADE 60 OR ASTM A-497 GRADE 60, CONCRETE SURFACES SHALL BE LEVEL/SLOPED AS INDICATED AND FINISHED/EDGED PER WVDOT 501.12, AND CONCRETE SHALL BE MOIST CURED PER WVDOT 501.14 (MEMBRANE CURING COMPOUND MUST BE APPROVED).
2. WHERE NOTED, EXPANSION JOINT MATERIAL AND JOINT SEALANTS SHALL BE IN ACCORDANCE WITH THE APPROPRIATE WVDOT STANDARD SPECIFICATION SECTION.
3. ISOLATION JOINT TREATMENT:  
USE A PREFORMED EXPANSION JOINT MATERIAL (WVDOT 708.1 OR APPROVED EQUAL) TREATED WITH WAX (OR EQUIVALENT BOND-BREAKER). OUTER FACE OF JOINT MATERIAL TO BE 1/2" FROM SURFACE OF CONCRETE OR MASONRY (1" FOR PAVEMENT) WITH THE SPACE SEALED WITH FLEXIBLE JOINT SEALER (VERTICAL JT. & 1" RETURN: SIKAFLEX 1a; HORIZONTAL JT.: SIKAFLEX 1CSL (OR APPROVED EQUAL)). ALL SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

W. SIDEWALK AND CURB

1. MINIMUM SIDEWALK WIDTH AT ANY OBSTRUCTION SHALL BE 3.00'. SIDEWALK MODIFICATIONS REQUIRED TO MEET THIS MINIMUM WIDTH MUST BE APPROVED BY THE ENGINEER.
2. MATCH EXISTING CURB AND SIDEWALK WITH SMOOTH TRANSITIONS AT TIE-INS.
3. WHERE REQUIRED, TERMINATE CURB WITH STANDARD CURB TAPER (CLASS 1/II).
4. TRANSVERSE CONTRACTION JOINTS SHALL BE PLACED IN THE SIDEWALK AT 5' INTERVALS (3/8" DEEP X 1/8" WIDE).
5. TRANSVERSE CONTRACTION JOINTS SHALL BE PLACED IN THE CURB AT 10' INTERVALS (1" DEEP X 1/8" WIDE) AND FILLED WITH JOINT SEALING MATERIAL (WVDOT 708.3). WVDOT 610.3 SHALL BE REFERENCED FOR ADDITIONAL INFORMATION RELATING TO INTEGRAL CONCRETE CURB.
6. UNLESS SHOWN OTHERWISE, SIDEWALK AND CURB SHALL BE SEPARATED IN THE LONGITUDINAL DIRECTION BY 1/4" PREFORMED EXPANSION JOINT MATERIAL (WVDOT 708.1). OUTER FACE OF JOINT MATERIAL SHALL BE 1/2" FROM SURFACE AND THE SPACE SEALED WITH JOINT SEALING MATERIAL (SIKAFLEX 1CSL).
7. SIDEWALK AND CURB SHALL HAVE 3/4" TRANSVERSE EXPANSION JOINTS AT 30' INTERVALS (3/4" PREFORMED EXPANSION JOINT MATERIAL PER WVDOT 708.1). OUTER FACE OF JOINT MATERIAL SHALL BE 1" FROM SURFACE FOR CURB (1/2" FOR SIDEWALK) AND THE SPACE SEALED WITH WVDOT 708.3 JOINT SEALING MATERIAL (SIKAFLEX 1CSL AT SIDEWALK).
8. SIDEWALK SHALL BE SEPARATED FROM BUILDING, COLUMNS, EXISTING CONCRETE, ETC. WITH 1/2" PREFORMED EXPANSION JOINT MATERIAL PER WVDOT 708.1. OUTER FACE OF JOINT MATERIAL SHALL BE 1/2" FROM SURFACE AND THE SPACE SEALED WITH SIKAFLEX 1CSL.
9. WHERE NOTED, EXPANSION JOINT MATERIAL AND JOINT SEALANTS SHALL BE IN ACCORDANCE WITH THE APPROPRIATE WVDOT STANDARD SPECIFICATION SECTION.
10. CONCRETE SURFACES SHALL BE LEVEL/SLOPED AS INDICATED, FINISHED/EDGED PER WVDOT 501.12, AND MOIST CURED PER WVDOT 501.14 (MEMBRANE CURING COMPOUND MUST BE APPROVED).



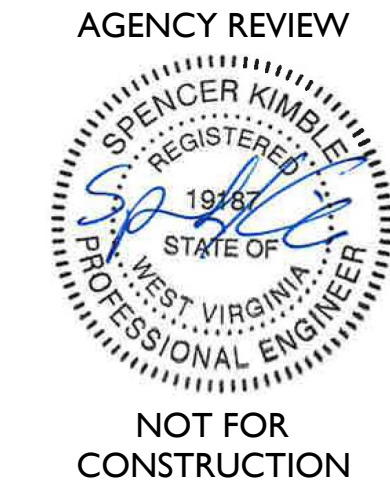
KALAMAZOO OFFICE  
612 South Park Street  
Kalamazoo, Michigan 49007

GRAND RAPIDS OFFICE  
15 Ionia SW - Suite 330  
Grand Rapids, Michigan 49503



Mary Free Bed  
Rehabilitation

Vandalia Health  
OHIO General Hospital



NOT FOR CONSTRUCTION

MPB AT VANDALIA HEALTH REHABILITATION HOSPITAL  
MARY FREE BED AT VANDALIA HEALTH  
500 MORRIS STREET  
CHARLESTON, WV 25301

REVISIONS

ISSUED

AUGUST 13, 2026

PROJECT NUMBER

PA# 2255018

SHEET TITLE

SITE GENERAL NOTES

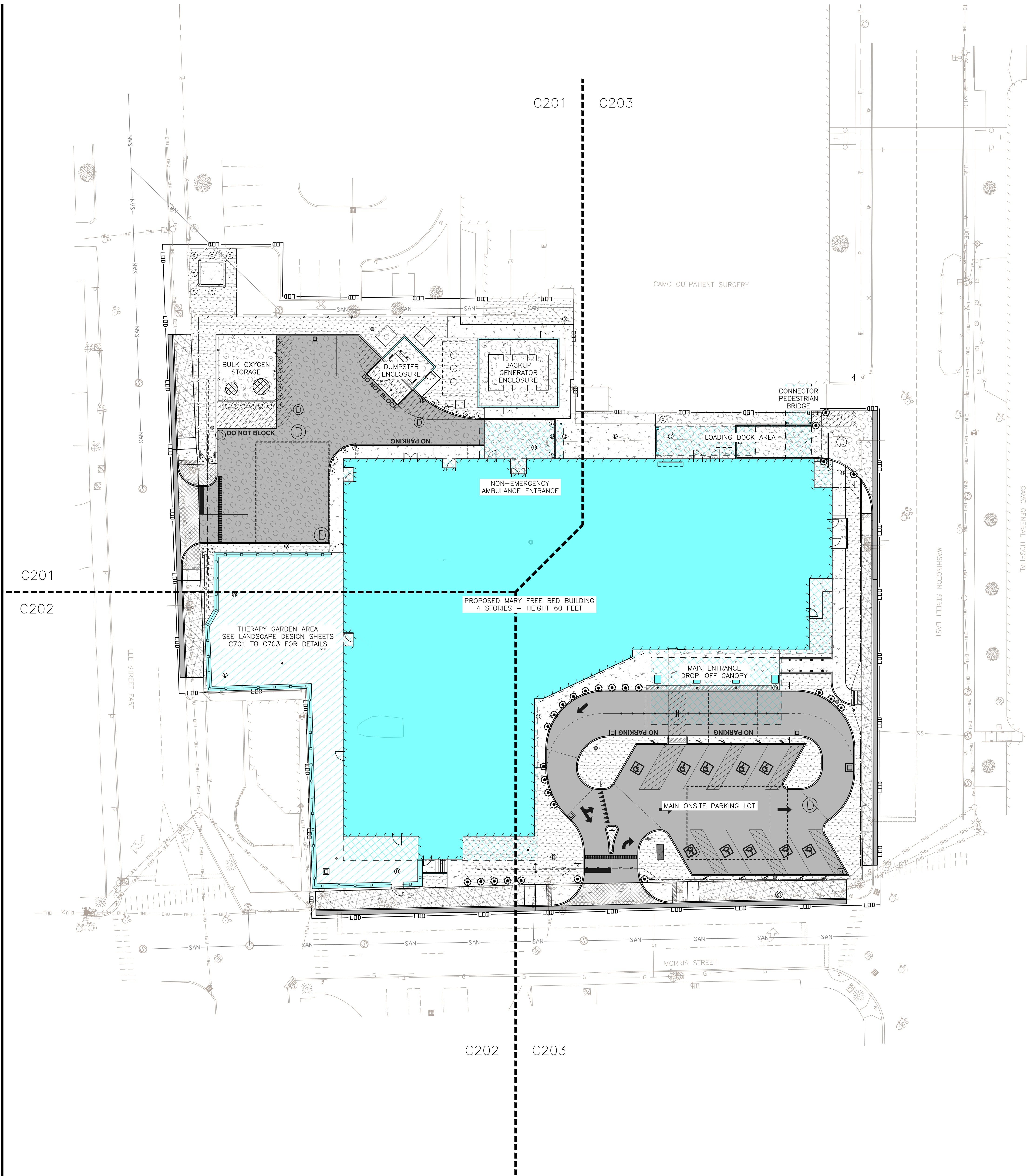
SHEET NUMBER

0001  
SCHEMATIC DESIGN

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GENERAL NOTES:

1. THE SITE CONTRACTOR SHALL ENSURE THAT ALL SIDEWALKS ARE SLOPED/GRADED PER ADA REQUIREMENTS. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ENGINEER OF RECORD'S ATTENTION FOR REVIEW/EVALUATION.
2. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION REGARDING ONSITE STRUCTURES.
3. ALL EXCAVATED AREAS TO BE SEEDED AFTER COMPLETION OF GRADING ACTIVITIES UNLESS OTHERWISE NOTED. ALL SEEDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL.
4. WHEN WORKING WITHIN ROADWAY RIGHT OF WAY CONTRACTOR SHALL ENSURE THAT ALL APPLICABLE TEMPORARY TRAFFIC CONTROL MEASURES ARE IN PLACE PRIOR TO COMMENCEMENT OF WORK. TTC MEASURES SHALL BE INSTALLED PER WDOH SPECIFICATIONS.
5. CONTRACTOR SHALL HEEL INTO THE EXISTING PAVEMENT WITH A MINIMUM WIDTH OF 2' WHEN TYING INTO EXISTING ROADWAY.
6. CONTRACTOR SHALL MATCH EXISTING CURB HEIGHT WHEN TYING INTO EXISTING CURB AT ROADWAY UNLESS OTHERWISE NOTED.
7. ALL SIDEWALKS IN PUBLIC ROW ARE TO BE 5" THICK OR 8" THICK WHEN AT DRIVEWAYS. CONSTRUCTION TO FOLLOW CITY SPECIFICATIONS AND REQUIREMENTS. PRIOR TO POURING CONCRETE THE CONTRACTOR SHALL COORDINATE AN INSPECTION WITH THE CITY. FAILURE TO DO SO MAY RESULT IN REWORK AT NO ADDITIONAL COST TO THE OWNER. DIMENSIONS SHOWN ON EXISTING SIDEWALK ARE MINIMUM, CONTRACTOR TO TAKE TO NEAREST SIDEWALK JOINT.
8. ALL WORK WITHIN CITY OF CHARLESTON ROW SHALL BE COORDINATED WITH THE CITY. TEMPORARY TRAFFIC CONTROL SHALL BE INSTALLED PER WDOH MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS PRIOR TO THE BEGINNING OF WORK WITHIN ROW.
9. WORK WITHIN SIDEWALKS SHALL PROVIDE SAFE AND APPROPRIATE DETOUR SHOULD SIDEWALK BECOME BLOCKED DURING CONSTRUCTION.
10. SEE SHEET C220 FOR SITE SIGNAGE AND PAVEMENT MARKING LAYOUT INFORMATION.
11. THE GEOMETRIC LAYOUT POINTS SHOWN ON THE PLANS GENERALLY FOLLOW THE BELOW TERMINOLOGY. THE CONTRACTOR SHALL REVIEW GEOMETRIC LAYOUT POINT TABLES FOR ADDITIONAL INFORMATION AND COORDINATION.  
AXX - ASPHALT LAYOUT  
BXX - BUILDING LAYOUT  
CXX - CONCRETE LAYOUT  
GXX - GENERAL SITE LAYOUT  
LXX - SITE LIGHTING LAYOUT  
SXX - STORMWATER LAYOUT  
UXX - UTILITY LAYOUT

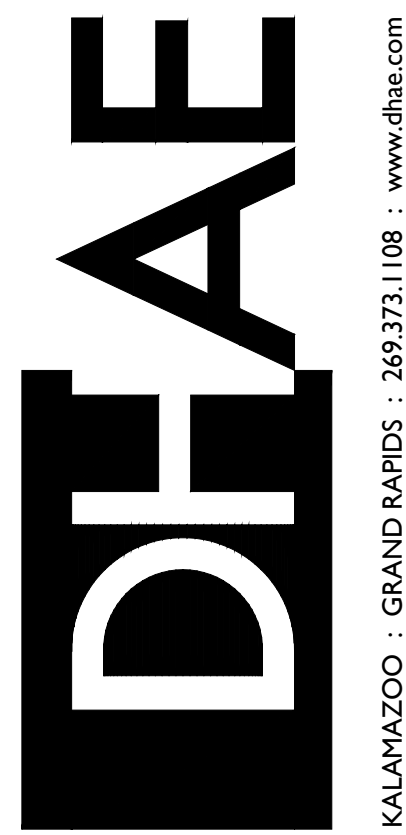
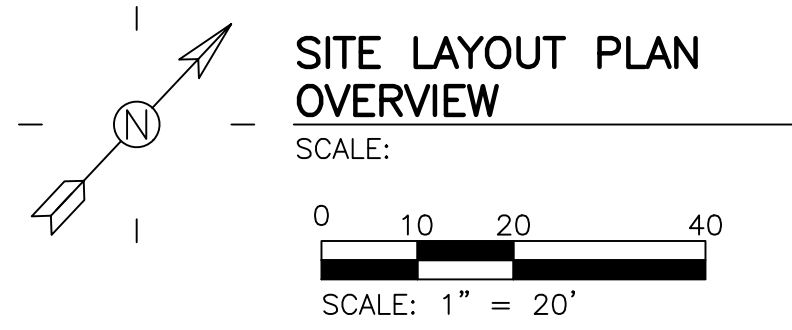
| SITE DATA                                                                 |           |       |         |
|---------------------------------------------------------------------------|-----------|-------|---------|
|                                                                           | SQ. FT.   | ACRES | PERCENT |
| TOTAL PROPERTY AREA                                                       | 73,316.23 | 1.68  | -       |
| LIMITS OF DISTURBANCE                                                     | 80,509.09 | 1.85  | -       |
| EXISTING PERVIOUS                                                         | 10,893.37 | 0.25  | 14.9%   |
| EXISTING IMPERVIOUS                                                       | 62,422.86 | 1.43  | 85.1%   |
| PROPOSED PERVIOUS                                                         | 12,344.80 | 0.28  | 16.8%   |
| PROPOSED IMPERVIOUS                                                       | 60,971.43 | 1.40  | 83.2%   |
| EXISTING USE - CURRENTLY VACANT LAND - PREVIOUSLY MEDICAL OFFICE BUILDING |           |       |         |
| PROPOSED USE - PHYSICAL REHABILITATION HOSPITAL                           |           |       |         |
| EXISTING ZONING - C-10 - GENERAL COMMERCIAL DISTRICT                      |           |       |         |

CODED NOTES

1. WDOH TYPE IIIB ADA RAMP W/ DETECTABLE WARNING SURFACE. (1 of 5)
- 1.1. STANDARD ADA PARKING SPACE (1 of 9)
- 1.2. VAN ADA PARKING SPACE (1 of 1)
- 1.3. ADA SIDEWALK RAMP W/ HANDRAIL
2. STATIONARY STEEL BOLLARD (1 of 40)
- 2.1. REMOVABLE STEEL BOLLARD (1 of 1)
- 2.2. DECORATIVE BOLLARD - MAXIFORCE W/ SLOPED HEAD TOWARD TRAFFIC (1 of 27)
- 2.3. FLEXIBLE GROUND MOUNTED DELINEATOR POSTS (1 of 14)
- 2.4. DOUBLE SIDED MOVEABLE PEDESTRIAN CROSSING SIGN - MUTCD R1-6a (1 of 1)
3. PARKING LOT/ENTRANCE SIGN (SEE SHEET C220 FOR LAYOUT AND DETAIL 10 ON SHEET C500)
4. PROPOSED METAL DECORATIVE FENCE (MATCH EXISTING FENCE)
- 4.1. MANUAL VEHICULAR SLIDE GATE - 30' OPENING
- 4.2. MANUAL VEHICULAR SLIDE GATE - 24' OPENING
- 4.3. MANUAL VEHICULAR SLIDE GATE - 19' OPENING (1-9' PANEL & 1-10' PANEL)
- 4.4. MANUAL PERSONNEL SWING GATE - 8' OPENING W/ ACCESS HARDWARE
- 4.5. MANUAL VEHICULAR DUAL SWING GATE - 18' OPENING
5. 6" CONCRETE CURB (WDOH TYPE I)
- 5.1. BEGIN FULL HEIGHT
- 5.2. BEGIN FLUSH CURB AT SIDEWALK
6. 8" CONCRETE CURB
- 6.1. BEGIN FULL HEIGHT
- 6.2. BEGIN FLUSH CURB AT SIDEWALK
7. 2" MOUNTABLE CURB (WDOH TYPE IV)
8. FLUSH CURB
9. WDOH TYPE G INLET (3'-2" INTERIOR)
- 9.1. WDOH TYPE B INLET (2' INTERIOR)
- 9.2. ADS BARRACUDA HYDRODYNAMIC SEPARATOR (SEE C504 FOR DETAIL)
- 9.3. WDOH TYPE A CONCRETE STORMWATER MANHOLE
- 9.4. ADS NYLOPLAST STRUCTURE (SEE SHEETS C301 TO C307 FOR ADDITIONAL INFORMATION)
- 9.5. ADS DURASLOT TRENCH DRAIN
- 9.6. ABT HEAVY DUTY TRENCH DRAIN
10. SITE MONUMENT/DIRECTIONAL SIGNAGE - BY OTHERS CONTRACTOR TO COORDINATE WITH SIGNAGE COMPANY ON FINAL LOCATION AND INSTALL.

MATERIAL LEGEND:

|  |                                                                                    |  |                                                                    |
|--|------------------------------------------------------------------------------------|--|--------------------------------------------------------------------|
|  | STANDARD DUTY ASPHALT PAVEMENT                                                     |  | GRASS LAWN/LANDSCAPING<br>SEE LANDSCAPE DESIGN SHEETS L100 TO L102 |
|  | HEAVY DUTY ASPHALT PAVEMENT                                                        |  | PROPOSED STRUCTURE                                                 |
|  | HEAVY DUTY CONCRETE PAVEMENT                                                       |  | PROPOSED STRUCTURE - OVERHEAD                                      |
|  | 8" CONCRETE SIDEWALK AT DRIVEWAYS                                                  |  |                                                                    |
|  | 4" CONCRETE SIDEWALK                                                               |  |                                                                    |
|  | 5" CONCRETE SIDEWALK & CURB<br>MATCH EXISTING WIDTH AND GRADE WITHIN CITY/WDOH ROW |  |                                                                    |
|  | ADA DETECTABLE WARNING SURFACE                                                     |  |                                                                    |



KALAMAZOO OFFICE  
612 South Park Street  
Kalamazoo, Michigan 49007

GRAND RAPIDS OFFICE  
15 Ionia SW - Suite 330  
Grand Rapids, Michigan 49503



BID PACKAGE I REVIEW



MFH AT VANDALIA HEALTH REHABILITATION HOSPITAL  
**MARY FREE BED AT VANDALIA HEALTH**  
303 MORRIS STREET  
CHARLESTON, WV 25301

REVISIONS:

ISSUED

AUGUST 27, 2026

PROJECT NUMBER

PA# 2255018

SHEET TITLE

**SITE LAYOUT  
PLAN  
OVERVIEW**

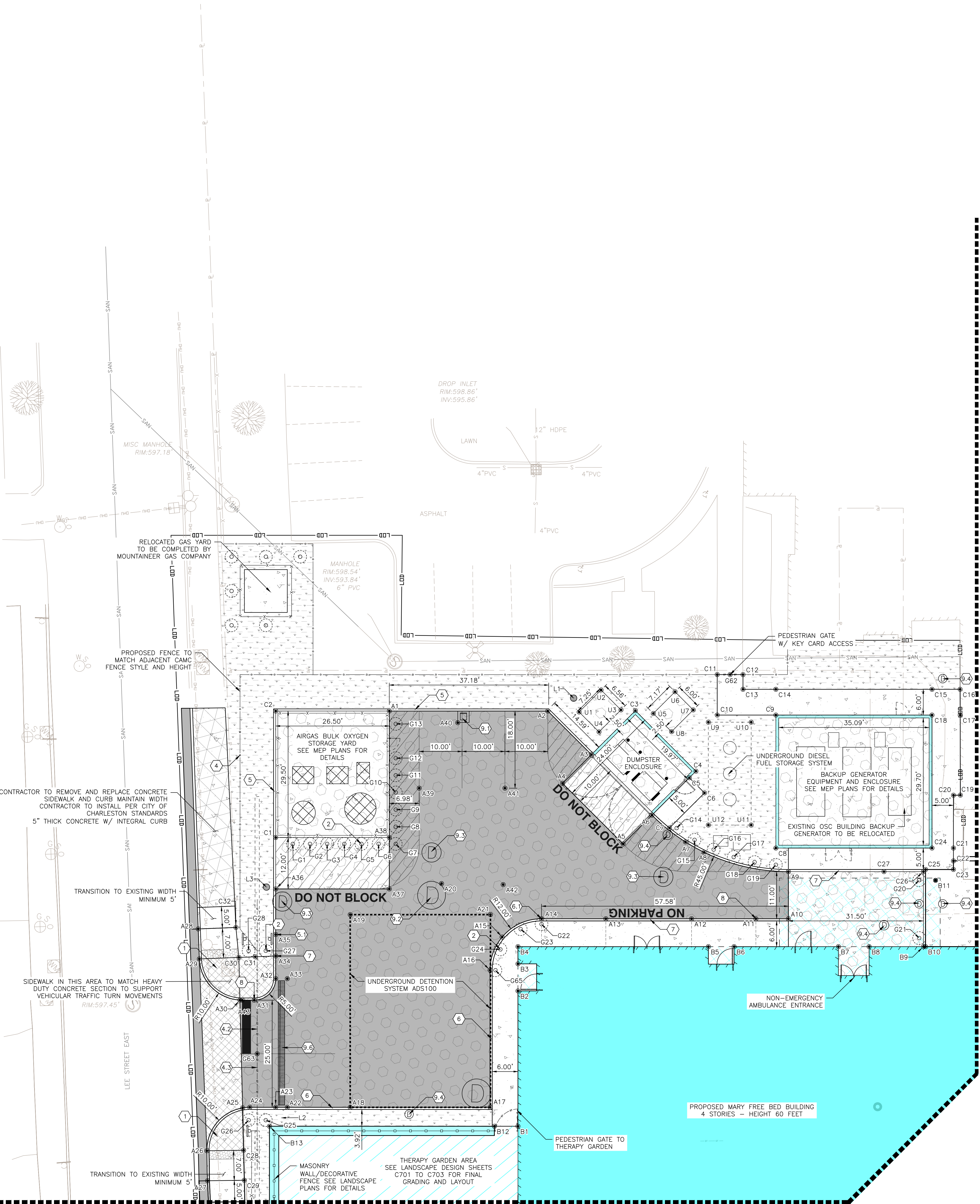
SHEET NUMBER

**C200**

BID PACKAGE I

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RELOCATED GAS YARD  
TO BE COMPLETED BY  
MOUNTAINEER GAS COMPANY

PROPOSED FENCE TO  
MATCH ADJACENT CAMC  
FENCE STYLE AND HEIGHT

CONTRACTOR TO REMOVE AND REPLACE CONCRETE  
SIDEWALK AND CURB MAINTAIN WIDTH  
CONTRACTOR TO INSTALL PER CITY OF  
CHARLESTON STANDARDS  
5" THICK CONCRETE W/ INTEGRAL CURB

TRANSITION TO EXISTING WIDTH  
MINIMUM 5'

SIDEWALK IN THIS AREA TO MATCH HEAVY  
DUTY CONCRETE SECTION TO SUPPORT  
VEHICULAR TRAFFIC TURN MOVEMENTS  
RIM:597.45'

LEE STREET EAST

TRANSITION TO EXISTING WIDTH  
MINIMUM 5'

UNDERGROUND DETENTION  
SYSTEM ADS100

THERAPY GARDEN AREA  
SEE LANDSCAPE DESIGN SHEETS  
C701 TO C703 FOR FINAL  
GRADING AND LAYOUT

SHEET NUMBER: C202

SHEET NUMBER: C203

GENERAL NOTES:

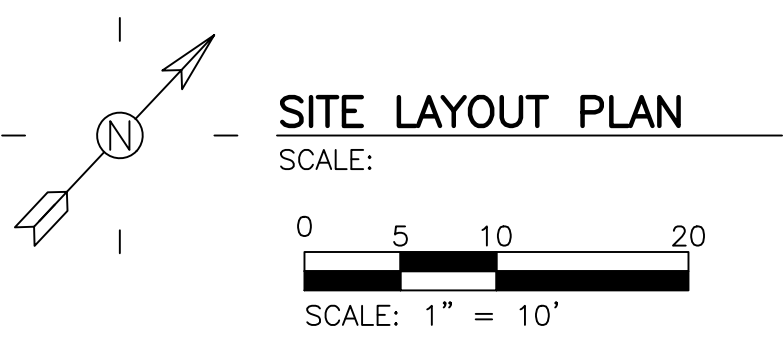
1. THE SITE CONTRACTOR SHALL ENSURE THAT ALL SIDEWALKS ARE SLOPED/GRADED PER ADA REQUIREMENTS. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ENGINEER OF RECORD'S ATTENTION FOR REVIEW/EVALUATION.
2. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION REGARDING ONSITE STRUCTURES.
3. ALL EXCAVATED AREAS TO BE SEEDED AFTER COMPLETION OF GRADING ACTIVITIES UNLESS OTHERWISE NOTED. ALL SEEDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL.
4. WHEN WORKING WITHIN ROADWAY RIGHT OF WAY CONTRACTOR SHALL ENSURE THAT ALL APPLICABLE TEMPORARY TRAFFIC CONTROL MEASURES ARE IN PLACE PRIOR TO COMMENCEMENT OF WORK. TTC MEASURES SHALL BE INSTALLED PER WDOH SPECIFICATIONS.
5. CONTRACTOR SHALL HEEL INTO THE EXISTING PAVEMENT WITH A MINIMUM WIDTH OF 2' WHEN TYING INTO EXISTING ROADWAY.
6. CONTRACTOR SHALL MATCH EXISTING CURB HEIGHT WHEN TYING INTO EXISTING CURB AT ROADWAY UNLESS OTHERWISE NOTED.
7. ALL SIDEWALKS IN PUBLIC ROW ARE TO BE 5" THICK OR 8" THICK WHEN AT DRIVEWAYS. CONSTRUCTION TO FOLLOW CITY SPECIFICATIONS AND REQUIREMENTS. PRIOR TO POURING CONCRETE THE CONTRACTOR SHALL COORDINATE AN INSPECTION WITH THE CITY. FAILURE TO DO SO MAY RESULT IN REWORK AT NO ADDITIONAL COST TO THE OWNER. DIMENSIONS SHOWN ON EXISTING SIDEWALK ARE MINIMUM. CONTRACTOR TO TAKE TO NEAREST SIDEWALK JOINT.
8. ALL WORK WITHIN CITY OF CHARLESTON ROW SHALL BE COORDINATED WITH THE CITY. TEMPORARY TRAFFIC CONTROL SHALL BE INSTALLED PER WDOH MANUAL ON TEMPORARY TRAFFIC CONTROL FOR STREETS AND HIGHWAYS PRIOR TO THE BEGINNING OF WORK WITHIN ROW.
9. WORK WITHIN SIDEWALKS SHALL PROVIDE SAFE AND APPROPRIATE DETOUR SHOULD SIDEWALK BECOME BLOCKED DURING CONSTRUCTION.
10. SEE SHEET C220 FOR SITE SIGNAGE AND PAVEMENT MARKING LAYOUT INFORMATION.
11. THE GEOMETRIC LAYOUT POINTS SHOWN ON THE PLANS GENERALLY FOLLOW THE BELOW TERMINOLOGY. THE CONTRACTOR SHALL REVIEW GEOMETRIC LAYOUT POINT TABLES FOR ADDITIONAL INFORMATION AND COORDINATION.  
AXX - ASPHALT LAYOUT  
BXX - BUILDING LAYOUT  
CXX - CONCRETE LAYOUT  
GXX - GENERAL SITE LAYOUT  
LXX - SITE LIGHTING LAYOUT  
SXX - STORMWATER LAYOUT  
UXX - UTILITY LAYOUT

CODED NOTES

1. WDOH TYPE IIIB ADA RAMP W/ DETECTABLE WARNING SURFACE. (1 OF 5)
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- 1.2. VAN ADA PARKING SPACE (1 OF 1)
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- 2.4. DOUBLE SLOPED MOVEABLE PEDESTRIAN CROSSING SIGN - MUTCD R1-6a (1 OF 1)
3. PARKING LOT/ENTRANCE SIGN (SEE SHEET C220 FOR LAYOUT AND DETAIL 10 ON SHEET C500)
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- 9.5. ADS DURASLOT TRENCH DRAIN
- 9.6. ABT HEAVY DUTY TRENCH DRAIN
10. SITE MONUMENT/DIRECTIONAL SIGNAGE - BY OTHERS CONTRACTOR TO COORDINATE WITH SIGNAGE COMPANY ON FINAL LOCATION AND INSTALL.

MATERIAL LEGEND:

|  |                                                                                    |  |                                                                    |
|--|------------------------------------------------------------------------------------|--|--------------------------------------------------------------------|
|  | STANDARD DUTY ASPHALT PAVEMENT                                                     |  | GRASS LAWN/LANDSCAPING<br>SEE LANDSCAPE DESIGN SHEETS L100 TO L102 |
|  | HEAVY DUTY ASPHALT PAVEMENT                                                        |  | PROPOSED STRUCTURE                                                 |
|  | HEAVY DUTY CONCRETE PAVEMENT                                                       |  | PROPOSED STRUCTURE - OVERHEAD                                      |
|  | 8" CONCRETE SIDEWALK AT DRIVEWAYS                                                  |  |                                                                    |
|  | 4" CONCRETE SIDEWALK                                                               |  |                                                                    |
|  | 5" CONCRETE SIDEWALK & CURB<br>MATCH EXISTING WIDTH AND GRADE WITHIN CITY/WDOH ROW |  |                                                                    |
|  | ADA DETECTABLE WARNING SURFACE                                                     |  |                                                                    |



THERAPY GARDEN AREA  
SEE LANDSCAPE DESIGN SHEETS  
C701 TO C703 FOR FINAL  
GRADING AND LAYOUT

59.86'

14.31'

B29  
B28

CONTRACTOR TO REMOVE AND REPLACE CONCRETE  
SIDEWALK AND CURB MAINTAIN WIDTH  
CONTRACTOR TO INSTALL PER CITY OF  
CHARLESTON STANDARDS  
5" THICK CONCRETE W/ INTEGRAL CURB

MASONRY WALL/DECORATIVE FENCE  
SEE LANDSCAPE PLANS FOR DETAILS

LEE STREET EAST

CONCRETE WALK

BLOCK BUILDING

PROPOSED MARY FREE BED BUILDING  
4 STORIES - HEIGHT 60 FEET

EXTERIOR STAIRS  
SEE ARCHITECTURAL  
PLANS FOR DETAILS

15.14'  
TO PROPERTY LINE

12.39'

B27  
B26  
B25  
B24  
B30  
B31  
B32  
B33  
B23  
B22  
B21  
C33  
C34  
C29  
G30  
G31  
G32

PEDESTRIAN GATE  
EMERGENCY EXIT ONLY LOD

CONTRACTOR TO REMOVE AND REPLACE CONCRETE  
SIDEWALK AND CURB MAINTAIN WIDTH  
CONTRACTOR TO INSTALL PER CITY OF  
CHARLESTON STANDARDS  
5" THICK CONCRETE W/ INTEGRAL CURB

--- RIM:597.56'

STORM MANHOLE  
RIM:598.81'  
INV:593.81'

COMMUNICATIONS  
MANHOLE  
RIM:597.93'

STORM MANHOLE  
RIM:597.35'  
INV:590.15'

MANHOLE  
RIM:597.80'

MANHOLE  
RIM:598.57'

DROP INLET  
RIM:596.93'  
INV:593.53'

STORM MANHOLE  
RIM:597.57'

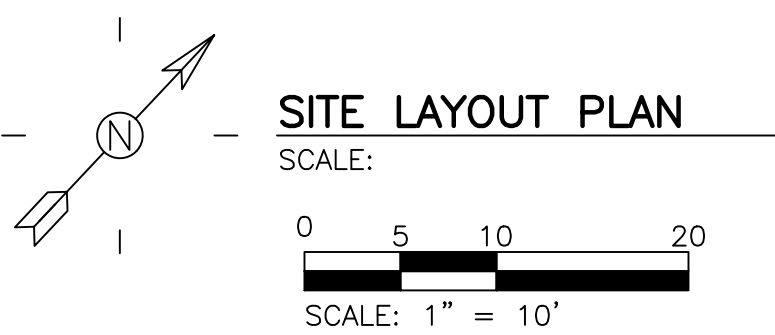
DROP INLET  
RIM:598.04'  
INV:596.24'

SHEET NUMBER: C203

1. THE SITE CONTRACTOR SHALL ENSURE THAT ALL SIDEWALKS ARE SLOPED/GRADED PER ADA REQUIREMENTS. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ENGINEER OF RECORD'S ATTENTION FOR REVIEW/EVALUATION.
2. ACCESS TO EXISTING SIDEWALKS AND STRUCTURES FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION REGARDING ONSITE STRUCTURES.
3. ALL EXCAVATED AREAS TO BE SEEDDED AFTER COMPLETION OF GRADING ACTIVITIES UNLESS OTHERWISE NOTED. ALL SEEDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL.
4. WHEN TYPING INTO EXISTING RIGHT OF WAY CONTRACTOR SHALL ENSURE THAT ALL APPLICABLE TEMPORARY TRAFFIC CONTROL MEASURES ARE IN PLACE PRIOR TO COMMENCEMENT OF WORK. TTC MEASURES SHALL BE INSTALLED PER WDOH SPECIFICATIONS.
5. CONTRACTOR SHALL HEEL INTO THE EXISTING PAVEMENT WITH A MINIMUM WIDTH OF 2' WHEN TYPING INTO EXISTING SIDEWALK.
6. CONTRACTOR SHALL MATCH EXISTING CURB HEIGHT WHEN TYING INTO EXISTING CURB AT ROADWAY UNLESS OTHERWISE NOTED.
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9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATELY SAFE AND APPROPRIATE DETOUR SHOULD SIDEWALK BECOME BLOCKED DURING CONSTRUCTION.
10. SEE SHEET C220 FOR SITE SIGNAGE AND PAVEMENT MARKING LAAYOUT INFORMATION.
11. THE GEOMETRIC LAAYOUT POINTS SHOWN ON THE PLANS GENERALLY FOLLOW THE BELOW TERMINOLOGY. THE CONTRACTOR SHALL REVIEW GEOMETRIC LAAYOUT POINT TABLES FOR ADDITIONAL INFORMATION AND COORDINATION.
  - AXX = ASPHALT LAAYOUT
  - BXX = BUILDING LAAYOUT
  - CXX = CONCRETE LAAYOUT
  - GXX = GENERAL SITE LAAYOUT
  - LXX = SITE LIGHTING LAAYOUT
  - SXX = STORMWATER LAAYOUT
  - UXX = UTILITY LAAYOUT

1. WDOUH TYPE IIIB ADA RAMP W/ DETECTABLE WARNING SURFACE. (1 of 5)
  - 1.1. STANDARD ADA PARKING SPACE (1 of 9)
  - 1.2. VAN ADA PARKING SPACE (1 of 1)
  - 1.3. ADA SIDEWALK RAMP W/ HANDRAIL
2. STATIONARY STEEL BOLLARD (1 of 40)
  - 2.1. REMOVABLE STEEL BOLLARD (1 of 1)
  - 2.2. DECORATIVE BOLLARD – MAXIFORCE W/ SLOPED HEAD TOWARD TRAFFIC (1 of 27)
3. FLEXIBLE GROUND MOUNTED DELINEATOR POSTS (1 of 14)
4. DOUBLE SIDED MOVEABLE PEDESTRIAN CROSSING SIGN – MUTCD R1-6c (1 of 1)
5. PARKING ZONE PAVEMENT (SEE SHEET C220 FOR LAYOUT AND DETAIL TO ON SHEET C500)
6. PROPOSED METAL DECORATIVE FENCE (MATCH EXISTING FENCE)
  - 4.1. MANUAL VEHICULAR SLIDE GATE – 30' OPENING
  - 4.2. MANUAL VEHICULAR SLIDE GATE – 24' OPENING
  - 4.3. MANUAL VEHICULAR SLIDE GATE – 19' OPENING (1-9' PANEL & 1-10' PANEL)
  - 4.4. MANUAL PERSONNEL SWING GATE – 8' OPENING W/ ACCESS HARDWARE
  - 4.5. MANUAL VEHICULAR DUAL SWING GATE – 18' OPENING
5. 6" CONCRETE CURB (WDOUH TYPE I)
  - 5.1. BEGIN FULL HEIGHT
  - 5.2. BEGIN FLUSH CURB AT SIDEWALK
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- 9.3. WDOUH TYPE A CONCRETE STORMWATER MANHOLE
- 9.4. ADS NYLOPLAST STRUCTURE (SEE SHEETS C301 TO C307 FOR ADDITIONAL INFORMATION)
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- 9.6. ABT HEAVY DUTY TRENCH DRAIN
10. SITE MONUMENT/DIRECTIONAL SIGNAGE – BY OTHERS CONTRACTOR TO COORDINATE WITH SIGNAGE COMPANY ON FINAL LOCATION AND INSTALL.

|                                                                                       |                                                                                     |                                                                                       |                                                                      |
|---------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|----------------------------------------------------------------------|
|  | STANDARD DUTY ASPHALT PAVEMENT                                                      |  | GRASS/ LAWN/ LANDSCAPING<br>SEE LANDSCAPE DESIGN SHEETS L100 TO L102 |
|  | HEAVY DUTY ASPHALT PAVEMENT                                                         |  | PROPOSED STRUCTURE                                                   |
|  | HEAVY DUTY CONCRETE PAVEMENT                                                        |  | PROPOSED STRUCTURE - OVERHEAD                                        |
|  | 8" CONCRETE SIDEWALK AT DRIVEWAYS                                                   |                                                                                       |                                                                      |
|  | 4" CONCRETE SIDEWALK                                                                |                                                                                       |                                                                      |
|  | 5" CONCRETE SIDEWALK & CURB<br>MATCH EXISTING WIDTH AND GRADE WITHIN CITY/WWDOH ROW |                                                                                       |                                                                      |
|  | ADA DETECTABLE WARNING SURFACE                                                      |                                                                                       |                                                                      |



**KALAMAZOO OFFICE**  
612 South Park Street  
Kalamazoo, Michigan 49007

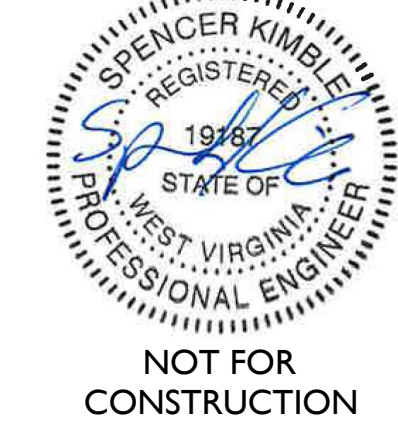
**GRAND RAPIDS OFFICE**  
15 Ionia SW - Suite 330  
Grand Rapids, Michigan 49503



**Mary Free Bed<sup>®</sup>**  
Rehabilitation



BID PACKAGE I REVIEW



MFB AT VANDALIA HEALTH REHABILITATION HOSPITAL  
**MARY FREE BED AT VANDALIA HEALTH**  
 303 MORRIS STREET  
 CHARLESTON, WV 25301

REVISIONS:

ISSUED

AUGUST 27, 2026

PROJECT NUMBER  
PA# 2255018

SHEET TITLE

**SITE LAYOUT  
PLAN**

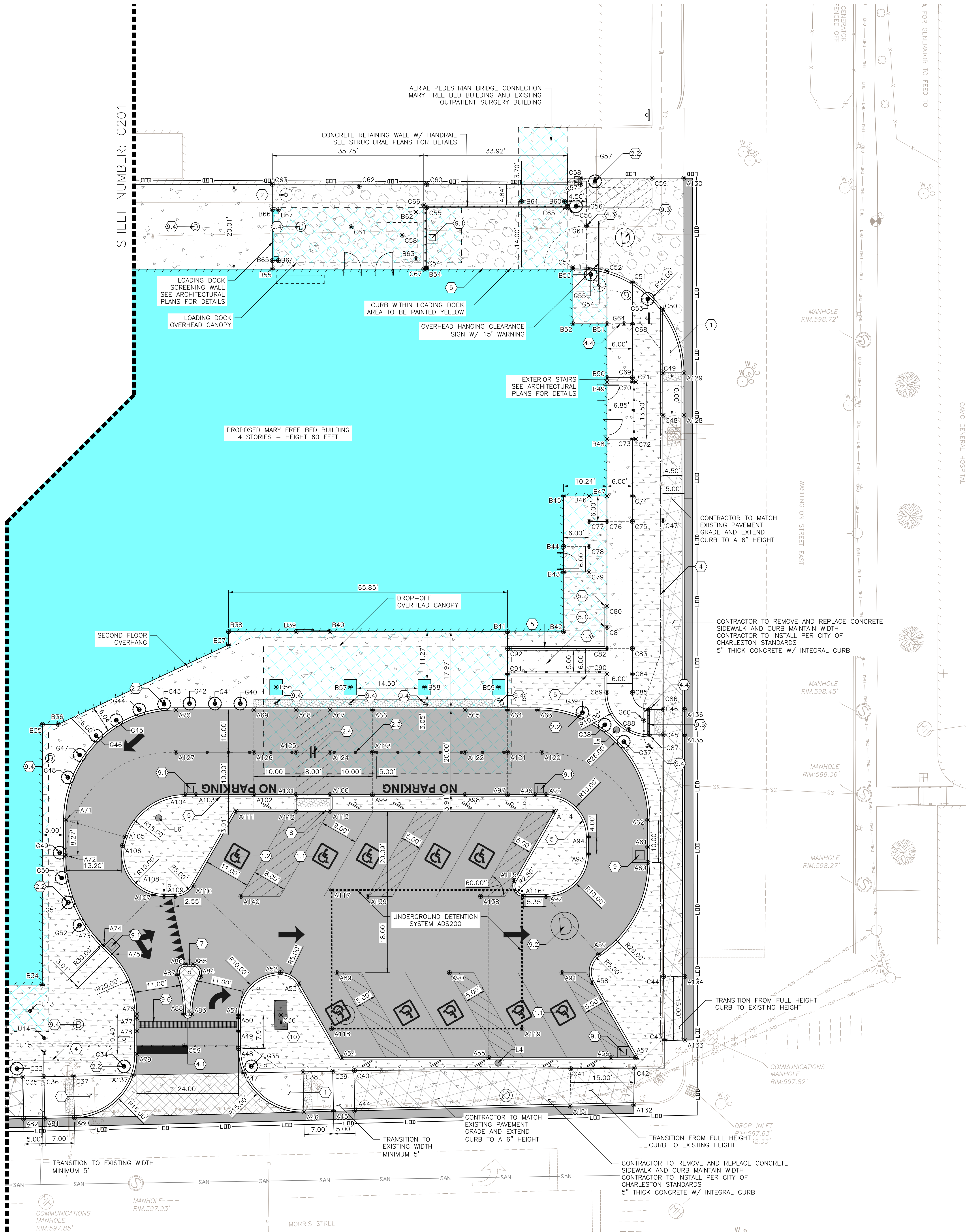
SHEET NUMBER

**C202**  
BID PACKAGE I

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SHEET NUMBER: C202

SHEET NUMBER: C201



#### GENERAL NOTES:

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  2. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND ADDITIONAL INFORMATION REGARDING ONSITE STRUCTURES.
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  5. CONTRACTOR SHALL HEEL INTO THE EXISTING PAVEMENT WITH A MINIMUM WIDTH OF 2' WHEN TYING INTO EXISTING ROADWAY.
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  7. ALL SIDEWALKS IN PUBLIC ROW ARE TO BE 5" THICK OR 8" THICK WHEN AT DRIVEWAYS. CONSTRUCTION TO FOLLOW CITY SPECIFICATIONS AND REQUIREMENTS. PRIOR TO POURING CONCRETE THE CONTRACTOR SHALL COORDINATE AN INSPECTION WITH THE CITY. FAILURE TO DO SO MAY RESULT IN REWORK AT NO ADDITIONAL COST TO THE OWNER. DIMENSIONS SHOWN ON EXISTING SIDEWALK ARE MINIMUM. CONTRACTOR TO TAKE TO NEAREST SIDEWALK JOINT.
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CXX - CONCRETE LAYOUT  
GXX - GENERAL SITE LAYOUT  
LXX - SITE LIGHTING LAYOUT  
SXX - STORMWATER LAYOUT  
UXX - UTILITY LAYOUT

#### SITE DATA

|                       | SQ. FT.   | ACRES | PERCENT |
|-----------------------|-----------|-------|---------|
| TOTAL PROPERTY AREA   | 73,316.23 | 1.68  | -       |
| LIMITS OF DISTURBANCE | 80,509.09 | 1.85  | -       |
| EXISTING PERVIOUS     | 10,893.37 | 0.25  | 14.9%   |
| EXISTING IMPERVIOUS   | 62,422.86 | 1.43  | 85.1%   |
| PROPOSED PERVIOUS     | 12,344.80 | 0.28  | 16.8%   |
| PROPOSED IMPERVIOUS   | 60,971.43 | 1.40  | 83.2%   |

EXISTING USE - CURRENTLY VACANT LAND - PREVIOUSLY MEDICAL OFFICE BUILDING  
PROPOSED USE - PHYSICAL REHABILITATION HOSPITAL  
EXISTING ZONING - C-10 - GENERAL COMMERCIAL DISTRICT

#### CODED NOTES

1. WDOH TYPE IIIB ADA RAMP W/ DETECTABLE WARNING SURFACE. (1 of 5)
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- 1.2. VAN ADA PARKING SPACE (1 of 1)
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- 4.3. MANUAL VEHICULAR SLIDE GATE - 19' OPENING (1-9' PANEL & 1-10' PANEL)
- 4.4. MANUAL PERSONNEL SWING GATE - 8' OPENING W/ ACCESS HARDWARE
- 4.5. MANUAL VEHICULAR DUAL SWING GATE - 18' OPENING
5. 6" CONCRETE CURB (WDOH TYPE I)
- 5.1. BEGIN FULL HEIGHT
- 5.2. BEGIN FLUSH CURB AT SIDEWALK
6. 8" CONCRETE CURB
- 6.1. BEGIN FULL HEIGHT
- 6.2. BEGIN FLUSH CURB AT SIDEWALK
7. 2" MOUNTABLE CURB (WDOH TYPE IV)
8. FLUSH CURB
9. WDOH TYPE G INLET (3'-2" INTERIOR)
- 9.1. WDOH TYPE B INLET (2' INTERIOR)
- 9.2. ADS BARRACUDA HYDRODYNAMIC SEPARATOR (SEE C504 FOR DETAIL)
- 9.3. WDOH TYPE A CONCRETE STORMWATER MANHOLE
- 9.4. ADS NYLOPLAST STRUCTURE (SEE SHEETS C301 TO C307 FOR ADDITIONAL INFORMATION)
- 9.5. ADS DURASLOT TRENCH DRAIN
- 9.6. ABT HEAVY DUTY TRENCH DRAIN
10. SITE MONUMENT/DIRECTIONAL SIGNAGE - BY OTHERS CONTRACTOR TO COORDINATE WITH SIGNAGE COMPANY ON FINAL LOCATION AND INSTALL.

#### MATERIAL LEGEND:

|  |                                                                                    |  |                                                                    |
|--|------------------------------------------------------------------------------------|--|--------------------------------------------------------------------|
|  | STANDARD DUTY ASPHALT PAVEMENT                                                     |  | GRASS LAWN/LANDSCAPING<br>SEE LANDSCAPE DESIGN SHEETS L100 TO L102 |
|  | HEAVY DUTY ASPHALT PAVEMENT                                                        |  | PROPOSED STRUCTURE                                                 |
|  | HEAVY DUTY CONCRETE PAVEMENT                                                       |  | PROPOSED STRUCTURE - OVERHEAD                                      |
|  | 8" CONCRETE SIDEWALK AT DRIVEWAYS                                                  |  |                                                                    |
|  | 4" CONCRETE SIDEWALK                                                               |  |                                                                    |
|  | 5" CONCRETE SIDEWALK & CURB<br>MATCH EXISTING WIDTH AND GRADE WITHIN CITY/WDOH ROW |  |                                                                    |
|  | ADA DETECTABLE WARNING SURFACE                                                     |  |                                                                    |

