



Board of Zoning Appeals

# Application for Conditional Use Permit

CU # \_\_\_\_\_

Hearing Date: \_\_\_\_\_

Applicant Information	Property Information
Name: <u>Lee Weingart</u>	Address: <u>1635 Quarrier St.</u>
Address: <u>2021 Quarrier St.</u>	Tax Map and Parcel:
Phone:	Zoning District: <u>R-8</u>
Agent Name, Address and Phone Number: (if other than applicant)	Property Owner and Mailing Address: (if other than applicant)

**IMPORTANT:** This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301, or by email to [planning@cityofcharleston.org](mailto:planning@cityofcharleston.org). The following items must accompany this application: 1) a site plan drawn to scale; 2) \$125.00 filing fee in the form of a check or money order made payable to City of Charleston; 3) any additional information, including photographs, elevations, testimonials or other documentation, which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions. THE PLANNING DEPARTMENT WILL NOT ACCEPT ANY INCOMPLETE APPLICATIONS.

Please describe the proposed use. Include information such as the activities to be conducted on the site, hours these activities will be conducted, and any other data pertinent to the proposed use. If the proposed use is a business, please attach a list of the officers and their contact information.

We are requesting adaptive reuse of a historical structure. We would like to use the property as our lobbying office. ~~is requested~~

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Applicable Section(s) of the Zoning Ordinance \_\_\_\_\_

Does the proposed use comply with the conditions set forth in the Zoning Ordinance? Yes

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Please describe any proposed work to be done on the property. The property will be  
the office for our lobbying business. There will be  
3-5 people on property from 9:00 am to 6:00 pm. Very  
little activity is expected after 6:00 pm.

If your request for a conditional use permit is granted, how will others in the area be affected?  
We foresee no negative impact to others in the district.  
We are a ~~public~~ professional organization with 23 yrs of  
service to clients.

Will your request devalue the property of others in the vicinity by altering land use characteristics or diminishing the marketable value of adjacent land and structures or increasing congestion on public streets?  
No, we intend to make no significant changes to the  
property other than those that would improve its appearance.

Is your request consistent with the purposes and intent of the Zoning Ordinance of the City of Charleston? yes

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

  
Signature

1/23/25  
Date



Board of Zoning Appeals  
**Application for Variance**

BZA # \_\_\_\_\_

Hearing Date: \_\_\_\_\_

Applicant Information	Property Information
Name: <u>Lee Weingart</u>	Address: <u>1635 Quarrier Street</u>
Address: <u>2021 Quarrier Street</u>	Tax Map and Parcel:
Phone: <u>216-496-3416</u>	Zoning District:
Agent Name, Address and Phone Number: (if other than applicant)	Property Owner and Mailing Address: (if other than applicant)

**INSTRUCTIONS:** This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301. The following items must accompany this application:

1. a site plan drawn to scale;
2. a list of the owners, with their mailing addresses, of the properties within a 100 foot radius of the property for which the variance is being sought; and
3. \$125.00 filing fee in the form of cash, personal check or money order made payable to the City of Charleston.

You are also encouraged to submit any additional information, including photographs, elevations, testimonials or other documentation which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions.

*THE PLANNING DEPARTMENT WILL NOT ACCEPT INCOMPLETE APPLICATIONS.*

A variance is a method by which a property owner receives permission to vary from the development standards established in the Zoning Ordinance governing such matters as building location, building dimensions, setback requirements, placement and quantity of parking, landscaping, signage, and other features included in site design. Please describe your variance request.

We request a variance from the parking spst requirement. We do not have a dedicated parking spst. The house will be used by administrative staff with very few client visits.

Applicable Section(s) of the Zoning Ordinance \_\_\_\_\_

Please describe the proposed work to be done on the property. Lobbying firm

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**IMPORTANT:** According to Section 8A of the Code of the State of West Virginia and Section 29-040 of the City of Charleston's Zoning Ordinance, the Board of Zoning Appeals may grant a variance if and only if **ALL** of the following four criteria can be satisfied:

- 1.) The variance, if granted, will not adversely affect the public health, safety and welfare or the rights of adjacent property owners or residents; and,
- 2.) The variance arises from special conditions or attributes which pertain to the property for which a variance is being sought and which were not created by the person or entity seeking the variance; and,
- 3.) The variance, if granted, would eliminate an unnecessary hardship and permit a reasonable use of the land; and,
- 4.) The variance, if granted, will allow the intent of the Zoning Ordinance to be observed and substantial justice done.

1.) If granted, your variance must not adversely affect the public health, safety and welfare or the rights of adjacent property owners or residents. For example, public safety cannot be compromised by limiting access for emergency vehicles, and neighboring property owners must not be hindered in the use their properties in any manner permitted in the Zoning Ordinance. If your variance request is granted, how will others in the area be affected? There will be no adverse impacts.

2.) Your request must arise from special conditions or attributes which pertain to the subject property and which you did not create. The size, shape and topography of your lot are examples of the physical conditions which may satisfy this criterion. In comparison with other properties in the vicinity and under the same zoning regulations, what is unusual or different about the subject property? The property will be used for lobbying firm staff. We expect very few visitors as most of our meetings will be at the Capitol

3.) **An unnecessary hardship is neither personal nor financial in nature.** In this application, an unnecessary hardship is a problem created by some feature of the land which prevents the owner from making reasonable use of the property as permitted by the Zoning Ordinance. The following three questions help to determine if there is an unnecessary hardship with regard to your property.

Without a variance, are you deprived of all beneficial use of your land? Yes, If we are required to have 8 dedicated parking spots we would not be able to use the property as we intend.

Is your situation due to unique circumstances that are not shared by other land in the district? Yes. We are the only lobbying firm in the district we know of.

Would approval of your variance request alter the essential character of the surrounding neighborhood or community? No

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4.) The general purpose and intent of the Zoning Ordinance of the City of Charleston is to protect and promote the public health, safety, convenience, morals and general welfare. For more specific information in regard to the scope and intent of the Zoning Ordinance, please see Section 1-020 as well as the section from which you are requesting this variance. Will approval of the variance allow the intent of the Zoning Ordinance to be observed?

*Yes. Approving the requested variance poses no threat to public health, safety, convenience, morals or general welfare of the district.*

Substantial justice is the idea that a standard of fairness has been satisfied according to the substance of the law. Does your variance request represent the least deviation from the Zoning Ordinance necessary to achieve an outcome that is fair to both you and to your community?

*Yes. We do not need any other variances from the one requested here.*

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

*[Signature]*  
Signature

*1/23/25*  
Date

Planning Department Use Only	
The following is a list of related cases:	
The following is a list of zoning ordinance violations, building code violations and enforcement actions relating to the subject property:	
Application reviewed by:	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Rejected	
If approved, were there any specific conditions or limitations imposed by the BZA?	
Planning Official Signature and Title	Date

# **Alcohol Related Conditional Uses in Charleston, WV**

Application for Conditional Use Permit  
Release of Information  
Security & Operations Plan

Ursus Brew Works, LLC  
\_\_\_\_\_  
(Name of Proposed Business)



Board of Zoning Appeals

# Application for Conditional Use Permit

CU # CUP-25-0252

Hearing Date: 03/13/2025

Applicant Information	Property Information
Name: Jason Martin	Address: 207-211 Hale St Charleston, WV 25301
Address: 24 B Ridge Rd Greenbelt, MD 20770	Tax Map and Parcel: East Charleston Map 8, Parcel 87.3
Phone: 703-304-9043	Zoning District: CBD Central Business District
Agent Name, Address and Phone Number: (if other than applicant)	Property Owner and Mailing Address: (if other than applicant)

**IMPORTANT:** This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301, or by email to [planning@cityofcharleston.org](mailto:planning@cityofcharleston.org). The following items must accompany this application: 1) a site plan drawn to scale; 2) \$125.00 filing fee in the form of a check or money order made payable to City of Charleston; 3) any additional information, including photographs, elevations, testimonials or other documentation, which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions. THE PLANNING DEPARTMENT WILL NOT ACCEPT ANY INCOMPLETE APPLICATIONS.

Please describe the proposed use. Include information such as the activities to be conducted on the site, hours these activities will be conducted, and any other data pertinent to the proposed use. If the proposed use is a business, please attach a list of the officers and their contact information. See Attachment 1

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Applicable Section(s) of the Zoning Ordinance See Attachment 1

Does the proposed use comply with the conditions set forth in the Zoning Ordinance? See Attachment 1

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Please describe any proposed work to be done on the property. See Attachment 1  
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\_\_\_\_\_  
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If your request for a conditional use permit is granted, how will others in the area be affected? See Attachment 1  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Will your request devalue the property of others in the vicinity by altering land use characteristics or diminishing the marketable value of adjacent land and structures or increasing congestion on public streets? See Attachment 1  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Is your request consistent with the purposes and intent of the Zoning Ordinance of the City of Charleston? See Attachment 1  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

Signature 

11/17/2025  
Date



**Responsibilities of the Establishment**

*Please initial after each statement indicating understanding and acknowledgement of responsibilities of the business owner.*

Provide an adequate number of management staff, security personnel, and employees to effectively manage the establishment.

JM (initial)

Use reasonable measures to provide a safe and clean environment for guests and employees.

JM (initial)

Maintain both the interior and exterior of the establishment in a safe, well-maintained condition that is inviting to the public.

JM (initial)

Ensure all managers, bartenders, and servers complete the Professional Server Certification Corporation's On-Premises Responsible Serving Course. Copies of staff certification must be kept on site and made available to City staff upon request.

JM (initial)

**Security Personnel**

*Please initial after each statement indicating understanding and acknowledgement of responsibilities of the business owner.*

A minimum one of security personnel shall be provided for every 35-50 patrons during any time when entertainment is provided on the premises. It is the responsibility of the establishment to monitor and adjust the number of security personnel provided based on business operations.

JM (initial)

The approximate locations of security personnel must be shown on the floor plan submitted with this application. Security personnel should be stationed in strategic locations throughout the establishment to ensure adequate oversight and management of the entire premises.

JM (initial)

Security staff should be easily identifiable to customers. Apparel clearly identifying security personnel is recommended. Other equipment recommended for security personnel includes flashlight, manual counter, black light, and a communication device.

JM (initial)

Security personnel should be stationed at all points of entry into the establishment in order to check IDs, enforce establishment dress codes when applicable, ensure that alcoholic beverages do not enter or leave the establishment, and to deny entry to anyone who has been barred from the establishment or is obviously intoxicated.

JM (initial)

Additional security personnel should be positioned strategically around the establishment to monitor the crowd, identify patrons who are becoming unruly or visibly over-intoxicated, and maintain open walkways.

JM (initial)

#### **Last Call Process**

Last call occurs at least 30 minutes prior to closure.

Entertainment is terminated and house lights are turned up 15 minutes prior to closure.

Customers are asked to leave the business 10 minutes prior to closure.

Security personnel should assist in the dispersal of customers from the premises and prevent loitering in the vicinity of the establishment.

JM (initial)

#### **Addressing Customers with Bad Behavior/Over-consumption**

In the event that security personnel determines that there is a need to address a customer who is over-intoxicated or behaving badly, the following protocols should be undertaken:

1. Immediately and discreetly explain the rules to the customer and then promptly enforce the rule. If possible and appropriate, separate the customer from any group. It is the responsibility of security personnel to assess the situation to determine if a warning is appropriate prior to taking corrective action.
2. Notify the bar and wait staff that they are not to serve the customer any additional alcoholic beverages. In the event that the customer is observed with an alcoholic beverage, the customer should be asked to leave the premises.

3. If the customer is not violent or aggressive, provide the customer time to collect their belongings and pay any open tabs. If necessary, escort the customer out of the premises. It may be appropriate to allow the customer to close a tab once outside of the establishment.

jm (initial)

Employees are not to serve alcohol to any person who shows signs of being visible intoxicated, nor should any such person be allowed to enter the establishment. If a patron is "cut off" by a staff member, all other staff members are to be notified immediately. If a patron is too impaired to leave safely, the establishment will make reasonable efforts to arrange transportation on his or her behalf.

jm (initial)

**Emergency Contact Information**

Please list responsible parties to contact in case of emergency. Include name, cell phone number, and email address.

Jason Martin

7033049043

jasonscottmartin@gmail.com

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**ACKNOWLEDGEMENT**

I have read and understand the policies, procedures, and standards expected of myself, my staff and my establishment. By signing below, I acknowledge that I understand and will abide by this Security & Operations Plan.

**Signature:**

  
\_\_\_\_\_

**Print Name:** Jason Martin

\_\_\_\_\_

**Title:** Owner

\_\_\_\_\_

**Date:**

11/17/2025  
\_\_\_\_\_

City of Charleston Alcohol CUP

Attachment 1

**Please describe the proposed use. Include information such as the activities to be conducted on the site, hours these activities will be conducted, and any other data pertinent to the proposed use. If the proposed use is a business, please attach a list of the officers and their contact information.**

Ursus Brew Works, LLC will be a small brewpub with a 3.5 BBL capacity brew house on-site and a kitchen to prepare and serve food to patrons. Ursus Brew Works will be a comfortable place for the public to gather and enjoy food and drink. Beer made on-site will be served along with beer from other breweries in the state. Cider, wine, mead, and draft cocktails will be served for those patrons who do not want beer. Non-alcoholic drinks will also be served. The hours of operation for the week will be 3pm – 10pm Wednesday and Thursday, 12pm – 10pm Friday and Saturday, and 12pm – 8pm Sunday. Ursus Brew Works will be closed on Monday and Tuesday.

Jason Martin

Owner

7033049043

jasonscottmartin@gmail.com

**Applicable Section(s) of the Zoning Ordinance**

**SEC. 3-060 Supplemental Regulations Pertaining to Land Use Table**

52. **Alcoholic Beverage Sales** the following apply when a conditional use permit is required:

- a. As part of a request for Conditional Use Permit, the applicant shall provide information necessary for the Planning Department to conduct research regarding relevant licensing and enforcement activity at the Alcoholic Beverage Control Administration of the State of West Virginia.
- b. In reaching a decision, the Board of Zoning Appeals may consider past violations and enforcement actions on record at the ABCA.
- c. As part of a request for conditional use permit, the applicant shall provide a written Security & Operations Plan in a form and manner as prescribed by the Planning Department. The contents of the plan shall include, but are not limited to, the following:
  1. Hours of operation.
  2. Type and frequency of entertainment to be provided.

3. Food service plans, including menu and means of preparation.
  4. The number and locations of security personnel.
  5. The number and locations of video surveillance, both interior and exterior.
  6. Commitment to staff training.
- d. The Board of Zoning Appeals may give special consideration to the potential impacts on parks and public spaces.

**SEC. 1-020 Preamble**

It is the intent of this ordinance to protect and promote the public health, safety, convenience, morals, and general welfare. More specifically, this ordinance is intended to achieve the following:

- A. Guide future growth and development in general accordance with the Charleston Comprehensive Plan and individual City neighborhood plans with these regulations generally being in accordance with setting forth the purposes of those plans;
- B. Provide adequate light, air, and privacy; secure safety from fire and other danger; and prevent overcrowding of land and undue congestion of population;
- C. Protect the character and the social and economic stability of all parts of the City; encourage orderly and beneficial development; and protect and preserve the value of land and buildings appropriate to the various districts established by this ordinance;
- D. Bring about the gradual conformity of the uses of land and buildings with the zoning regulations set forth, and minimize conflicts among the uses of land and buildings;
- E. Promote the most beneficial relationship between the uses of land and buildings and the street system which serves those uses, having particular regard for the potential amount and intensity of such land and building uses in relation to the traffic capacity of the street system, so as to avoid congestion in the streets and to promote safe and convenient vehicular and pedestrian traffic movements appropriate to the various uses of land and buildings; and;
- F. Provide a guide for public action in the orderly and efficient provision of public facilities and services, and for private enterprise in building development, investment, and other economic activity relating to uses of land and buildings.

**Does the proposed use comply with the conditions set forth in the Zoning Ordinance?**

Yes

**Please describe any proposed work to be done on the property.**

The building at 207-211 Hale St Charleston, WV has been vacant for several years. The entire first floor is empty. Ursus Brew Works will be on the first floor and will have to be completely built out. Work to be done includes framing, drywall, electrical, plumbing, lighting, brewing and kitchen equipment installation, bathroom installation, drainage, flooring, bar installation, cooler installation, and HVAC. The building is historic and no structural or aesthetic changes will be made to the outside of the building with the exception of signage in accordance to city regulation and standards.

**If your request for a conditional use permit is granted, how will others in the area be affected?**

Given that the building has been vacant for several years, once renovations are complete, Ursus Brew Works will enhance the experience and property value of Hale St. Ursus Brew Works will bring more people to Hale St looking for dining and drinking options, which will expose the neighboring businesses to new customers and potentially increase their sales. The limited hours of operation and not having late night hours will limit late night crowds and the problems that come along with that.

**Will your request devalue the property of others in the vicinity by altering land use characteristics or diminishing the marketable value of adjacent land and structures or increasing congestion on public streets?**

No.

**Is your request consistent with the purposes and intent of the Zoning Ordinance of the City of Charleston?**

Yes

### **Description of Operations**

**Please provide a narrative description of the business operations, including the type and frequency of entertainment to be provided.**

Ursus Brew Works, LLC will be a small brewpub with a 3.5 BBL capacity brew house on-site and a kitchen to prepare and serve food to patrons. Ursus Brew Works will be a comfortable place for the public to gather and enjoy food and drink. Beer made on-site will be served along with beer from

other breweries in the state. Cider, wine, mead, and draft cocktails will be served for those patrons who do not want beer. Non-alcoholic drinks will also be served.

### **Hours of Operation**

The hours of operation for the week will be 3pm – 10pm Wednesday and Thursday, 12pm – 10pm Friday and Saturday, and 12pm – 8pm Sunday. Ursus Brew Works will be closed on Monday and Tuesday.

**Full meal service should be available during normal meal times, and snacks/appetizers must be available during all other operating hours. Please provide a narrative description of the business's plans for food service. Include as an attachment the menu to be offered, and written agreements with any restaurant, off-site kitchen, or delivery service.**

Ursus Brew Works will offer a small food menu specializing in elevated pub fare. There will be several vegetarian options along with classic favorites such as burgers and wings. These foods will be prepared with beer as an ingredient where appropriate. Each menu item will have beer style pairings suggested on the menu so the customer can have a full beer/food complimentary tasting experience.

Food will be prepared in an on-site kitchen, and ingredients will be provided by Buzz Food Service and Gordon Food Service. The kitchen will be open during the same hours as the taproom and will serve food until last call.

A sample menu is provided (see Attachment 2)

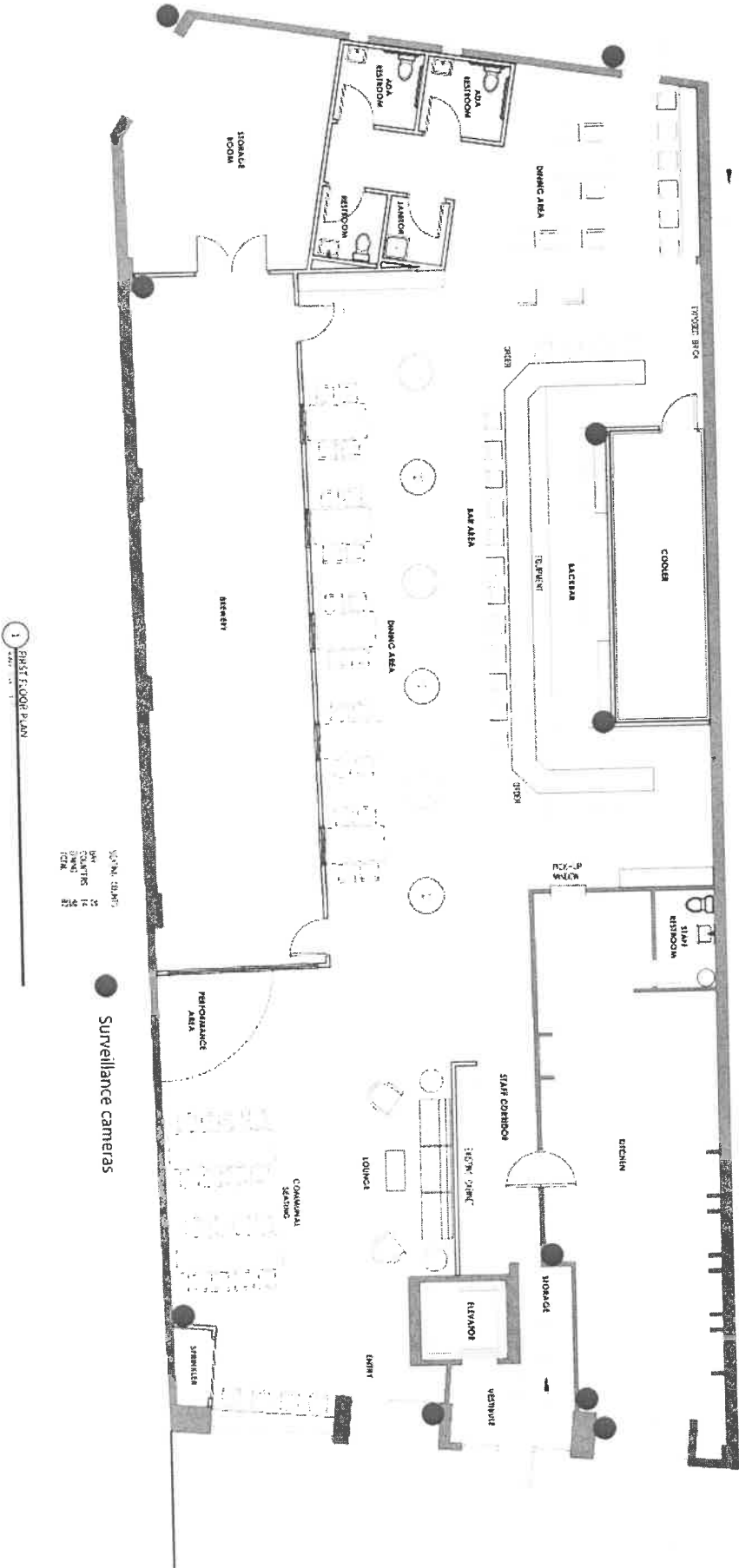
Floor plan with surveillance camera placement (see Attachment 3)

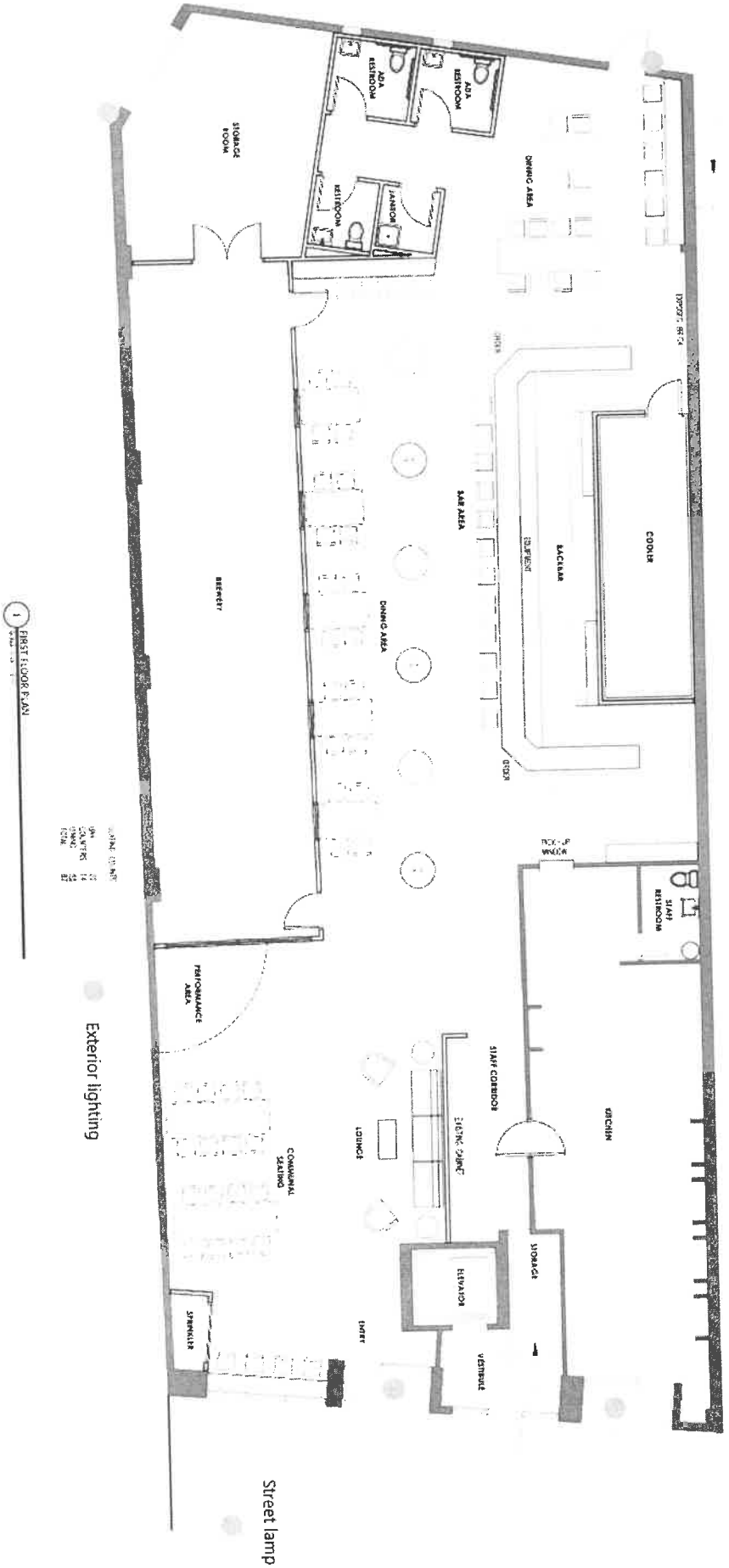
Floor plan with exterior lighting placement (see Attachment 4)

## Ursus Brew Works Food Menu

### Attachment 2

Perogies with dipping sauce  
Fries (chili cheese option)  
Fried pickles with dipping sauce  
Pimento cheese dip  
Roasted brussels sprouts with dipping sauce  
Bratwurst with sauerkraut  
Hot dog (WV option)  
Burger (black bean option)  
Chicken wrap (Cesar and boneless wing options)  
Cesar salad (chicken option)  
Seasonal salad  
Pepperoni roll  
Bavarian pretzel with beer cheese and mustard  
Boneless wings with different sauce options  
Bowl of chili  
Chocolate chip cookies







Board of Zoning Appeals

# Application for Conditional Use Permit

CU # CUP-25-0253

Hearing Date: 03/13/25

Applicant Information	Property Information
Name: TowerCom LLC	Address: 330 MacCorkle Avenue SE, Charleston WV 25314
Address: 241 Atlantic Blvd, Suite 201, Neptune FLA 32266	Tax Map and Parcel: 14-1-61
Phone: 703-671-6000 ofc / 276-971-3934 mob.	Zoning District: C-10 General Commercial
Agent Name, Address and Phone Number: (if other than applicant)  John Behnke, P.O. Box 770065, Memphis TN 38177 901-494-1559 mob.	Property Owner and Mailing Address: (if other than applicant) Astorg & Spears Properties LLC 5 Dudley Farms Lane, Charleston WV 25309

**IMPORTANT:** This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301. The following items must accompany this application: 1) a site plan drawn to scale; 2) a list of the owners, with their mailing addresses, of the properties within a 250 foot radius of the property for which the variance is being sought; 3) \$125.00 filing fee in the form of a check or money order made payable to the City of Charleston. You are also encouraged to submit any additional information, including photographs, elevations, testimonials or other documentation, which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions. THE PLANNING DEPARTMENT WILL NOT ACCEPT ANY INCOMPLETE APPLICATIONS.

Please describe the proposed use. Include information such as the activities to be conducted on the site, hours these activities will be conducted, and any other data pertinent to the proposed use. If the proposed use is a business, please attach a list of the officers and their contact information. \_\_\_\_\_  
 The proposed use is a wireless telecommunications facility. There is a long term lease in place with the landowner. \_\_\_\_\_  
 The leasehold is a 25' x 40' fenced area. Within the compound there will be a 120' self-support cell tower (monopole) and telecommunications switching cabinets. The site is unmanned. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Applicable Section(s) of the Zoning Ordinance Sec. 2-020 (p 42), Sec. 30-050 (p 57), Sec. 3-060 #17

Does the proposed use comply with the conditions set forth in the Zoning Ordinance? \_\_\_\_\_  
 Yes, the proposed use is in compliance with Sec. 3-060 subsection 17 of the Zoning Ordinance. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Please describe any proposed work to be done on the property. \_\_\_\_\_  
 The leasehold area is in a paved parking area. A portion of the concrete will be removed in order to pour a new foundation. An electrical H-frame with gang meters will be installed along with switching cabinets. A fence will then be installed around the perimeter. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

If your request for a conditional use permit is granted, how will others in the area be affected? \_\_\_\_\_  
If a CUP is granted, the site will have a positive impact on the surrounding area by providing robust cellular and  
and signal capacity. This site communicates with other nearby towers and infills the RF capacity shortfall.  
There are no known negative impacts.

Will your request devalue the property of others in the vicinity by altering land use characteristics or diminishing  
the marketable value of adjacent land and structures or increasing congestion on public streets? \_\_\_\_\_  
The site is in a commercial corridor on a busy street. The land acquisition was intentional so that it was located  
the greatest distance from any residential district; typically the primary concern for wireless citing. Because of the  
care in citing and a short tower height there will be no diminished market value to the property of others. Further,  
there is no residential uses adjacent to the site.

Is your request consistent with the purposes and intent of the Zoning Ordinance of the City of Charleston? \_\_\_\_\_  
The request either meets or exceeds the purposes and intent of the Ordinance.

I hereby affirm that all of the statements and information contained in or filed with this application are true and  
correct to the best of my knowledge.

Signature John Behmke

Date 01/30/2025

Planning Department Use Only	
The following is a list of related cases:	
The following is a list of zoning ordinance violations, building code violations and enforcement actions relating to the subject property:	
Application reviewed by:	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Rejected	
If approved, were there any specific conditions or limitations imposed by the BZA?	
Planning Official Signature and Title	Date



## PROJECT SUMMARY

January 30<sup>th</sup>, 2025

Planning Office of Planning & Development  
City of Charleston West Virginia  
915 Quarrier Street, Suite 1  
Charleston, West Virginia 25301

Ref: **Conditional Use Permit (CUP)** – Wireless Telecommunications Facility (WTF) aka Cell Tower

Project: “Haddad”

APN: 14 1006100000000 | 330 MacCorkle Avenue SE, Charleston WS

To the Staff:

On behalf of TowerCom LLC and in connection with its application for a CUP, we submit this statement of proposed site improvements.

Consultation with planning staff was made by TowerCom’s agent prior to making application to discuss the WTF request, obtain forms, review process and review mapping of proposed site. The pre-application discussions were held in December 2024.

A CUP was issued to TowerCom on March 28<sup>th</sup>, 2024 (CUP-24-0242) to allow the placement of a roving (mobile) cellular antenna at this site to address the wireless signal and data capacity deficit in the area. This development is the permanent fix to that performance problem.

TowerCom is requesting a finding that developing a 120’ self support monopole tower design with a 4’ lightning rod and a telecommunications compound at the described location meets or exceeds the policies, goals and objectives of the City of Charleston zoning ordinance and that a CUP should be granted.

1. The property is located at the center of the area needing additional cellular capacity and meets the radio frequency (RF) requirements of intended wireless carriers.
2. Based on RF measurement results in live networks, the impact of each RF issue is addressed; specifically, capacity overloading and coverage gaps, and other root causes of problems are identified by both real-time analysis as well as post processing RF analytics tools.
3. The applicants request is of a highly technical nature and the proposed WTF is necessary as determined by radio frequency (RF) engineers to supply essential capacity and coverage needs in this area.
4. There are no structures within the RF search area with a height that will meet the RF requirements for efficacy.
5. The tower will be 120' in height + 4' lightning rod atop as determined by RF engineering
6. The structure will be engineered and manufactured to have a 40' fall radius that will fold or buckle should there be a catastrophic weather event.
7. The tower design is a steel monopole with a galvanized finish color which is the most compatible to assimilate into this generally commercial use area. The applicant submits that this is the best design for the subject location and that a steeple, clock tower, pine tree etc. are not appropriate and would be out of place at this location.



8. The underlying zoning district is C-10. An auto repair shop is the principal use on the land. Surrounding and adjoining land districts are varied to include commercial, mixed use and residential districts.
9. The compound will have a 6' chain link fence surrounding it topped with three-strand barbed wire.
10. The size of the property (1.18 acres) is adequate for a cell tower site.
11. A signed lease is in place with the landlord for a leasehold area.
12. The proposed access will have no impact on traffic flow.
13. No lights will be atop the tower.
14. The application is consistent with Sec. 3-060 #17 of the development standards of the City of Charleston Zoning Ordinance for broadcasting towers/telecommunication facilities.

A tower development company, TowerCom works with its carrier clients to continuously review and assess the tower network needed to handle the quality and volume of calls or data of the areas needing broadband service.

TowerCom is responding to an unprecedented increase in demand for reliable wireless voice communications and wireless data services. People have now relinquished the expense of land lines and rely solely on their mobile phones. Meeting that desire requires reliable service over broader areas without gaps in capacity or signal and without dropped calls. Additionally, mobile devices are exponentially being used for transmitting and receiving wireless data. Consumer demand for predictable, far ranging wireless service will continue to accelerate. A robust wireless network capacity is now fundamental to commerce and the quality of everyday life and is essential for the safety of the general public through Enhanced 911 technology.

Please advise me if you require any additional information to process this request.

With appreciation for your assistance, we are

Sincerely yours,

John Behnke, Project Manager  
901-494-1559 mob.



## ADDENDUM

1. The project location will not have significant adverse effect on any neighborhood or area. The site is in a commercial corridor fronting a high traffic street. There will be no impact on residential since there is none nearby.
2. The use is compatible with the area which is developed with commercial uses.
3. The proposed use will not result in a nuisance. The nature of a wireless telecommunications facility (WTF) means that there is no traffic, no noise, no noxious odors and virtually no activity.
4. The quiet enjoyment of surrounding property will not be adversely affected. Once constructed, a WTF stands silently with little human activity.
5. There will be no adverse affect on property values nearby. Rather the presence of the WTF will either have no affect or more likely a positive affect due to the more reliable and enhanced wireless service provided to vehicles, houses and businesses within reach of the broadcast signal.
6. Parking and traffic considerations are moot. Once constructed, activity to the site slows to, at most, to one visit from technical personnel once a month.
7. The site and the intensity of the use, such as it is, is appropriate for a commercial corridor.
8. There is no residential near the site. The Planning Dept. can generally presume that the proposed use is compatible in this commercial district and at this specific location.
9. The site will be operational 24/7 with 24/7 access. Except in the case of an emergency, personnel would be at the site during normal business hours only.
10. There are no deliveries at a WTF.
11. Landscaping – n/a The site is very small in a commercial area. Because of this there is no plan to do additional landscaping in light of the strategic siting.
12. There is no health, safety, welfare or moral concerns associated with the proposed WTF that will adversely affect the surrounding area – a commercial corridor.
13. To the best of the Applicant’s knowledge, all relevant information has been provided to allow full consideration of all applicable factors.
14. The Applicant accepts the burden to provide the information required.
15. At this time there are no known modifications needed or requested by the Applicant beyond the basic intent of the submitted site plan. If there are any conditions or stipulations proposed or imposed by the Planning Department, then the Applicant will consider those.
16. The Applicant has utilized and followed the language of Section 3-060 #17 to produce the site plan and the support documentation for the application. If approved, the Applicant will comply with all provisions of this section and any other section of the City of Charleston Zoning Ordinance.
17. The Applicant believes it is in compliance with applicable specific requirements set forth in the Code of Ordinances.

END



January 30<sup>th</sup>, 2025

Mrs. Jinay Vasocu  
TowerCom LLC  
241 Atlantic Blvd., Ste 201  
Neptune Beach, Florida, 32266

Re: TowerCom SARF ID: # WV4998 "Haddad"  
Location: 330 MacCorkle Avenue SE, Charleston, WV 25314

Dear Mrs. Vasocu,

This serves as notice to TowerCom LLC that the subject site is a target for expansion of our network. As AT&T's exclusive contractor, TowerCom LLC is charged with the oversight of the development of this site to meet AT&T's radio frequency (RF) engineering requirements. This site will enhance needed cellular capacity and coverage to serve the AT&T customer base and will be added to the E911 safety system.

AT&T is in full support of TowerCom LLC in its efforts to secure zoning and other federal, state or local regulatory approvals necessary to develop the wireless telecommunications facility. The proposed facility will provide indoor building spectrum coverage and alleviate the existing capacity overload, as specified by our RF engineers, to the surrounding area with increased wireless signal to nearby businesses and residential dwellings.

Upon acquisition of all regulatory requirements and presentation of the building permit, AT&T will enter into a separate agreement with TowerCom LLC to collocate its equipment and antennae.

I hope this will answer any question regarding our proposed wireless facility; however, if you need any additional information, please feel free to contact me.

Thank you,

Yours truly,

A handwritten signature in black ink, appearing to read "David Usher".

David Usher  
Lead Real Estate and Construction  
Direct: 804-201-0684

xc: File  
N.Byrd



## CERTIFICATION

*Certification is made with supporting evidence that there is an inability to collocate antenna on an existing approved tower or facility.*

Project: "Haddad" – 330 MacCorkle Avenue SE, Charleston WV

### **Reference Section 3-060 Par. 17c i-vii**

- (i) There are no towers or facilities located within a 2000 foot radius of the required RF location.
- (ii) There are not towers or facilities of sufficient height, or design, to meet the applicants RF engineering requirements.
- (iii) N/A (see ii) – Existing towers or facilities do not have sufficient structural strength to support applicant's proposed antenna and related equipment.
- (iv) N/A – there is no RF interference conditions to consider.
- (v) N/A (see ii) – there are no other existing tower or facility that meet RF requirements, construction space or site use that would create an unwillingness of a land owner to entertain a collocation proposal.
- (vi) N/A (see ii) – there are no other towers or facilities to consider.
- (vii) N/A – there are no Class I satellite dish antenna involved with the development.

*January 30, 2025*

John Behnke  
Agent, TowerCom

<b>Colo Search</b>
<b>Carrier – AT&amp;T</b>
<b>Search Area Coordinates:</b> 38.349142 N -81.638532 W
<b>Tower Height: 150'</b>
<b>Desired RAD:</b>
<b>1200' Building Search / 3 mi. ring</b>
<b>Data Bases Used :</b> FAA / FCC / Cell Reception/Site Review
<b>Tower Com Name: "Haddad"</b>



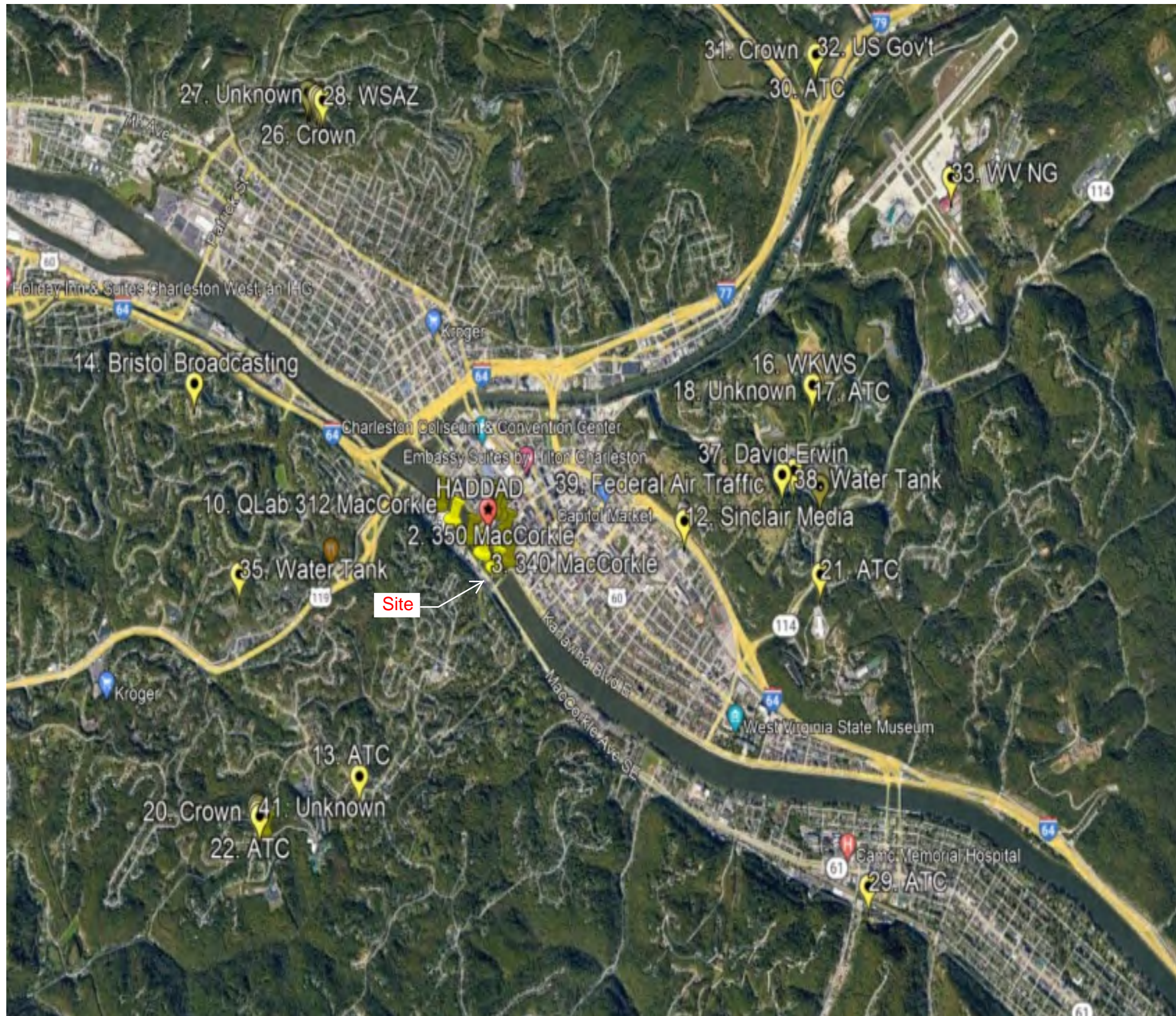
# TOWERCOM

<b>Tower Number Corresponded to Map</b>	<b>Location</b>	<b>Number of Carriers</b>	<b>Confirmed Carrier Information</b>	<b>Distance from Search Area (miles)</b>	<b>Direction from Search Area</b>	<b>Height of Structure (ft)</b>	<b>Structure Type</b>
1	723 Kanawha	0	13 Story Building. Could mount low on side of building	436 feet	East	Approx. 150'	Building
2	350 MacCorkle	0	2 Story Building. 35' to 40' tall. Not suitable for co-location due to Large Cornice/Overhang.	1,100 feet	South	40'	Building
3	340 MacCorkle	0	3 Story Building. Aprox. 50' tall. Not Suitable for co-location due to large Cornice/Overhang roof	820 feet	South	50'	Building
4	208 MacCorkle (Asthma & Allergy)	0	2 story Building. Approx 30' Tall. Possible to pipe mount on side of building, or sled mount antennas on flat roof	1,640 feet	West	30'	Building

5	AT&T - Small Cell site	1	AT&T has a small cell installation at the intersection of Kanawha & Ladley.	230 feet	North	approx. 25'	Small Cell MP
6	330 MacCorkle	0	1 Story 20' Building - Not Suitable - Weak Roof Structure	800 feet	SW	20'	Building
7	200 MacCorkle Motorworks	0	1 Story 20' Building - Could be possible to sled mount antennas on flat roof	1,624 feet	West	20'	Building
8	600 Kanawha (Sheraton)	0	12 Story Hotel - Approx. 135' - Flat Roof. Possible for co-location, but roof may be too high to serve the pavillion area below.	220 feet	NE	135'	Building
9	Parking Garage	0	Approx. 40' Tall. Just to North of Pavilion. Lots of Possibilities for various antenna configurations on this structure.	350 feet	North	40'	Building
10	312 MacCorkle (Qlab)	0	2 Story Approx. 25' tall. Flat Roof. Possible for Sled Mount Rooftop antennas	1,178 feet	West	25'	Building
11	Southside Bridge	0	40' to Deck. 75' to top of Structure. Possible to attach antennas to bridge	926 feet	South	40' to road deck 75' to top of bridge	Bridge
12	Sinclair Media	0	No carriers. Structurally small tower. Not feasible for co-location	1.09 Mi.	East	100'	SST
13	ATC	1	TMO. Small compound will need to expand to add additional carriers	1.33 mi.	S	70'	Pole
14	Bristol Broadcasting	0	Broadcast tower. Not structurally viable for co-location.	1.71 mi.	NW	275'	Guyed
15	Cns Microwave	0	Not suitable due to multiple MW Dishes located on tower	1.76 mi	SW	150'	SST
16	WKWS Radio	0	Radio Tower - Not Suitable for co-location	1.86 mi.	NE	100'	SST
17	ATC	1	TMO	1.87 mi.	NE	120'	SST
18	Unknown	0	Not Suitable for co-location	1.88 mi.	NE	80'	SST
19	ATC	0	Abandon TMO equipment platform, but no carrier currently using tower. Small compound. Only room for 1 carrier	1.83 mi.	East	80'	MP

20	Crown	2	AT&T, TMO (2 RADS); small compound. Will need to expand for future	1.79 mi.	SW	140'	SST
21	ATC	2	AT&T, VZW - Installed in stealth canisters.	1.85 mi.	East	125'	MP
22	ATC	2	VZW, DISH	1.76 mi.	SW	150'	SST
23	SBA	0	No Carriers - Plenty of Space for co-location	2.1 mi	NW	100'	MP
24	Unknown	0	Whips and Yagi antennas cover the tower. No carriers	2.09 mi.	NW	275'	SST
25	ATC	0	Abandon Equipment on Tower - Must be removed to co-locate	2.06 mi.	NW	140'	SST
26	Crown	2	AT&T, NextNav; Room for future co-location	2.05 mi.	NW	270'	SST
27	Unknown	0	Not Suitable for co-location	2.04 mi.	NW	195'	SST
28	WSAZ	0	Not Suitable for co-location	2.03 mi.	NW	185'	SST
29	ATC	1	TMO. Plenty of room for futures	2.64 mi.	SE	100'	MP
30	ATC	3	VZW, TMO, Unknown Shelter - Possibly Nextel)	2.74 mi.	NE	140'	MP
31	Crown	2	TMO, AT&T	2.73 mi.	NE	150'	SST
32	US Gov't Tower	0	Not Suitable for co-location	2.74 mi.	NE	120'	MP
33	WV National Guard	0	Can not access compound, Not suitable for co-location	2.96 mi.	NE	100'	SST
34	ATC	1	AT&T, room for additional	2.95 mi.	SE	100'	SST
35	WV Radio Corp	0	Radio Tower - Not built for carriers	1.3 mi.	NE	164'	Guyed
36	Water Tank	0	No carriers. Would need a structural to determine if suitable	1.38 mi.	West	100'	WT
37	David Erwin	0	Tower is full of whips. No room for carrier co-location.	1.63 mi.	East	100'	SST
38	Water Tank	0	Old Water Tank. Does not appear structurally capable	1.70 miles	East	85'	WT
39	Federal Air Traffic	0	Not Suitable	1.63 mi.	East	80'	MP
41	Unknown	0	Filled with Yagi antennas. No carriers. Not suitable for co-location	1.78 mi.	SW	100'	Guyed





# Certificate of AM Regulatory Compliance

**Site Name** "Haddad"  
**Location** N38-20-51.76 W81-38-24.09  
**Client** TowerCom LLC / BC Architects & Engineers  
**Certification Date** 1/30/2025

According to the Federal Communications Commission (FCC) Rules and Regulations,

"§1 Subpart AA. Disturbance of AM broadcast station antenna patterns

Part §1.30000 Purpose.

This rule protects the operations of AM broadcast stations from nearby tower construction that may distort the AM antenna patterns. All parties holding or applying for Commission authorizations that propose to construct or make a significant modification to an antenna tower or support structure in the immediate vicinity of an AM antenna, or propose to install an antenna on an AM tower, are responsible for completing the analysis and notice process described in this subpart, and for taking any measures necessary to correct disturbances of the AM radiation pattern, if such disturbances occur as a result of the tower construction or modification or as a result of the installation of an antenna on an AM tower. In the event these processes are not completed before an antenna structure is constructed, any holder of or applicant for a Commission authorization is responsible for completing these processes before locating or proposing to locate an antenna on the structure, as described in this subpart.

Part §1.30002 Tower construction or modification near AM stations.

(a) Construction near a nondirectional AM station. Proponents of construction or significant modification of a tower which is within one wavelength of a nondirectional AM station, and is taller than 60 electrical degrees at the AM frequency, must notify the AM station at least 30 days in advance of the commencement of construction. The proponent shall examine the potential impact of the construction or modification as described in paragraph (c). If the construction or modification would distort the radiation pattern by more than 2 dB, the proponent shall be responsible for the installation and maintenance of any detuning apparatus necessary to restore proper operation of the nondirectional antenna.

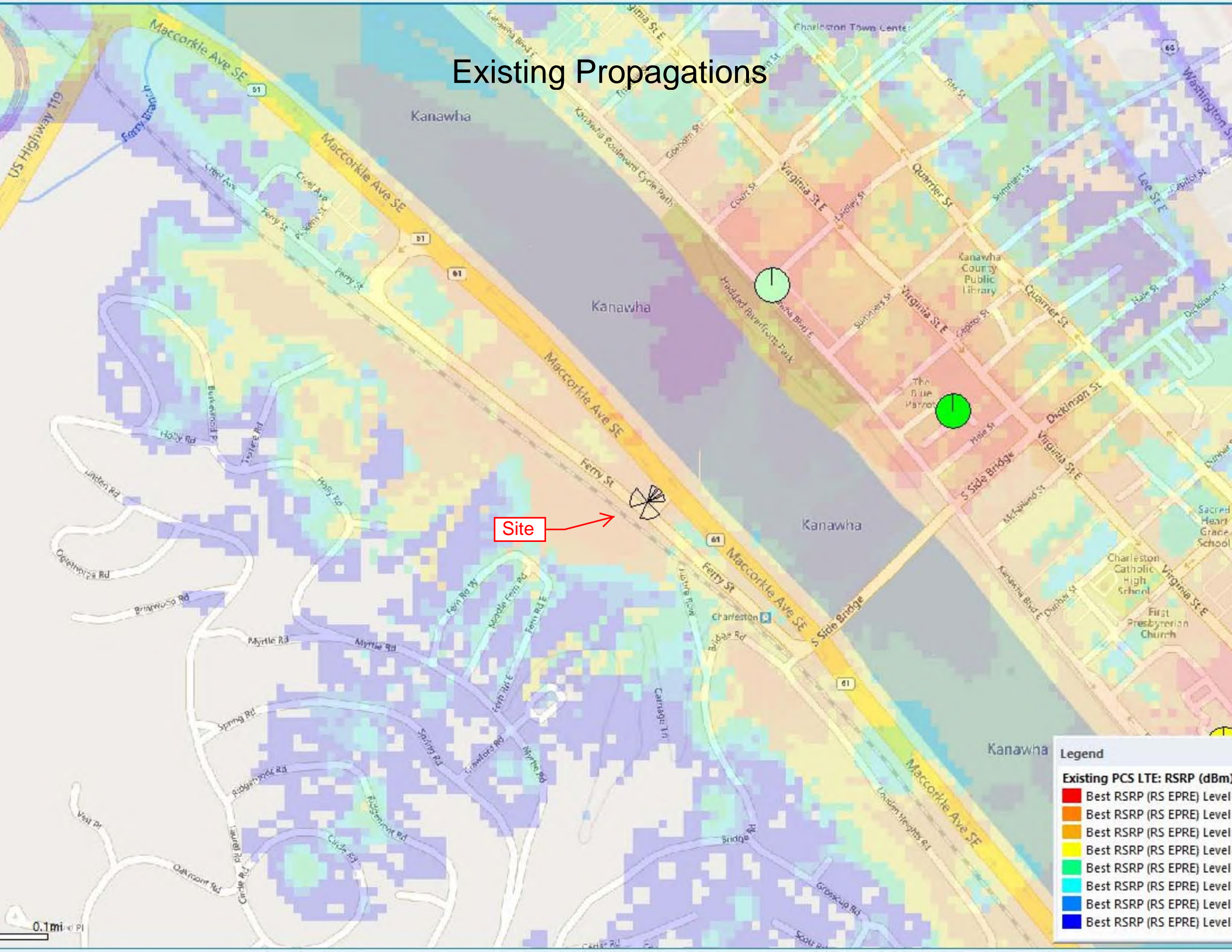
(b) Construction near a directional AM station. Proponents of construction or significant modification of a tower which is within the lesser of 10 wavelengths or 3 kilometers of a directional AM station, and is taller than 36 electrical degrees at the AM frequency, must notify the AM station at least 30 days in advance of the commencement of construction. The proponent shall examine the potential impact of the construction or modification as described in paragraph (c). If the construction or modification would result in radiation in excess of the AM station's licensed standard pattern or augmented standard pattern values, the proponent shall be responsible for the installation and maintenance of any detuning apparatus necessary to restore proper operation of the directional antenna."

This certificate verifies that the site at the above coordinates has been screened out to 3.2 km for directional antenna AM stations and 1.2 km distance for non-directional antenna AM stations and found to have no AM broadcast stations currently licensed to operate within those distances. Current FCC rules coordination distances are less as calculated in the above FCC rule §1.30002 adopted February 2014. Structure height is also considered in the current FCC rules. No further AM coordination actions are warranted at this time.



8618 Westwood Center Drive, Suite 315  
Vienna, VA 22182  
703-276-1100  
www.sitesafe.com  
©2019 Site Safe, LLC.

# Existing Propagations



Site

**Legend**

**Existing PCS LTE: RSRP (dBm)**

- Best RSRP (RS EPRE) Level
- Best RSRP (RS EPRE) Level
- Best RSRP (RS EPRE) Level
- Best RSRP (RS EPRE) Level
- Best RSRP (RS EPRE) Level
- Best RSRP (RS EPRE) Level
- Best RSRP (RS EPRE) Level
- Best RSRP (RS EPRE) Level

0.1mi



# TOWERCOM



## HADDAD

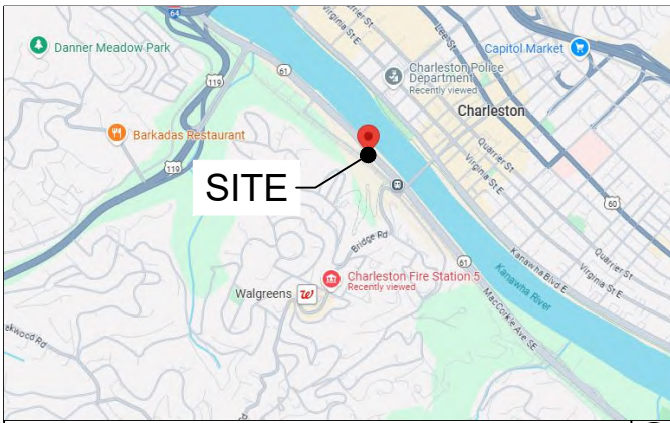
### SITE ADDRESS (E-911 VERIFIED)

330 MACCORKLE AVENUE SE  
 CHARLESTON, WV 25314  
 KANAWHA COUNTY  
 LATITUDE: 38° 20' 51.76" N  
 LONGITUDE: 81° 38' 24.09" W  
 PARCEL ID: 14 1 61

ZONING: C-10 GENERAL COMMERCIAL DISTRICT

**CHARLESTON POLICE DEPARTMENT**  
 501 VIRGINIA ST E  
 CHARLESTON, WV 25301  
 PHONE: (304) 348-6400  
 ATTN.: CUSTOMER SERVICE

**CHARLESTON FIRE STATION 5**  
 918 BRIDGE RD  
 CHARLESTON, WV 25314  
 PHONE: (304) 348-8085  
 ATTN.: CUSTOMER SERVICE



VICINITY MAP



DRIVING DIRECTIONS

**JURISDICTION:**  
 CITY OF CHARLESTON

**STATE:**  
 WEST VIRGINIA

**TOWER TYPE:**  
 MONOPOLE TOWER

**TOWER HEIGHT:**  
 120'

**NUMBER OF CARRIERS:**  
 0 EXISTING, 1 PROPOSED

**USE:**  
 PROPOSED TELECOMMUNICATIONS TOWER  
 AND UNMANNED EQUIPMENT

**FLOOD INFO**  
 SITE IS LOCATED WITHIN FEMA FLOOD MAP  
 AREA 54039C0407E DATED 02/06/2008 WITHIN  
 FLOOD ZONE X.

PROJECT SUMMARY

**DEVELOPER**  
 TOWERCOM  
 241 ATLANTIC BLVD. STE. 201  
 NEPTUNE BEACH, FL 32266  
 PHONE: (678) 525-2576  
 ATTN: JINAY VASCOCU

**POWER COMPANY**  
 APPALACHIAN POWER  
 PHONE: (800) 956-4237  
 ATTN.: CUSTOMER SERVICE

**PROPERTY OWNER**  
 ASTORG & SPEARS PROPERTIES, LLC  
 5 DUDLEY FARMS LANE  
 CHARLESTON, WV 25309  
 PHONE: (304) 746-0893  
 ATTN.: JAMIE SPEARS

**CONSULTANT**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GEORGIA 30009  
 PHONE: (470) 571-1306  
 ATTN.: DREW PITTS

CONTACTS

Sheet Number	Sheet Title
T1	COVER SHEET
--	SITE SURVEY (SHEET 1 OF 3)
--	SITE SURVEY (SHEET 2 OF 3)
--	SITE SURVEY (SHEET 3 OF 3)
N1	GENERAL NOTES
C0	OVERALL AERIAL PLAN
C1	OVERALL PARCEL PLAN
C1.1	OVERALL SITE PLAN
C2.0	SITE PLAN
C2.1	EQUIPMENT PLAN
C2.2	WIC PLAN AND ELEVATION
C2.3	CONCRETE PAD FOUNDATION DETAILS
C2.4	GENERATOR SPECS (1 OF 2)
C2.5	GENERATOR SPECS (2 OF 2)
C3	FENCE, GATE, AND COMPOUND DETAILS
C4	SITE SIGNAGE DETAILS
C5	WAVEGUIDE BRIDGE DETAILS
C6	ANTENNA AND TOWER ELEVATION DETAILS

### SHEET INDEX

**CITY OF CHARLESTON PLANNING AND ZONING**  
 915 QUARRIER ST #1  
 CHARLESTON, WV 25301  
 PHONE: (304) 348-8105  
 ATTN.: CUSTOMER SERVICE

PERMIT INFORMATION

TOWERCOM

### PROJECT INFORMATION:

**SITE NAME:**  
 HADDAD  
 330 MACCORKLE AVENUE SE  
 CHARLESTON, WV 25314  
 KANAWHA COUNTY

### PLANS PREPARED BY:

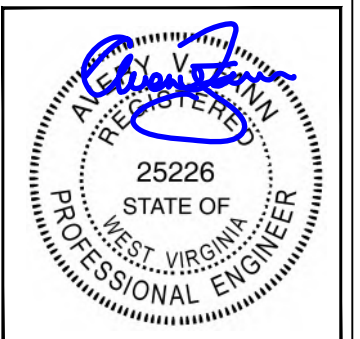
**Kimley»Horn**

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM  
 NC License F-0102

### REV: DATE: ISSUED FOR: BY:

8			
7			
6			
5			
4			
3			
2			
1	01/14/25	ZONING	AVF
0	01/09/25	ZONING	AVF

### LICENSER:



### KHA PROJECT NUMBER:

017177028

### DRAWN BY: CHECKED BY:

DJL

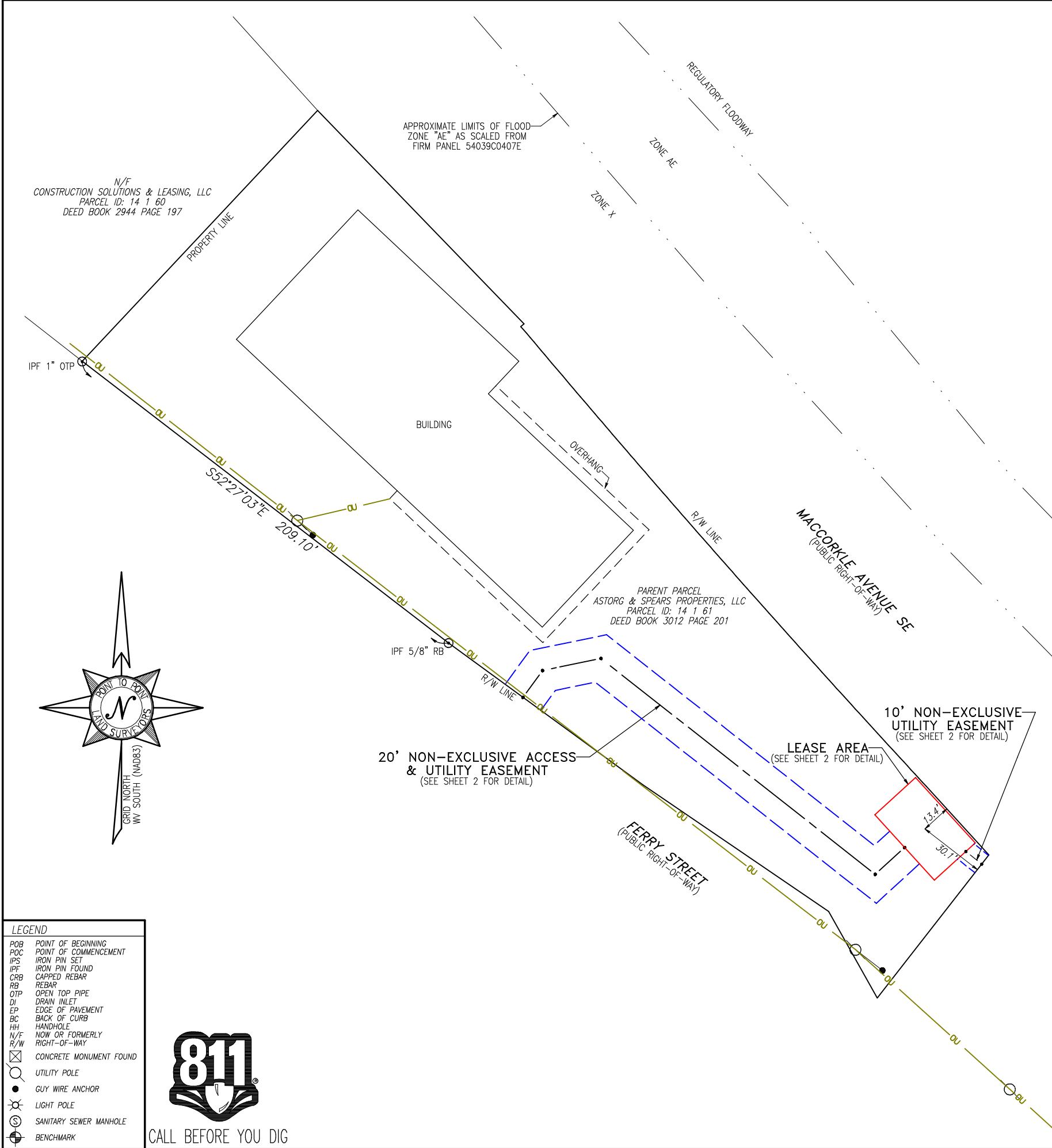
ALP

### SHEET TITLE:

COVER SHEET

### SHEET NUMBER:

T1



N/F  
CONSTRUCTION SOLUTIONS & LEASING, LLC  
PARCEL ID: 14 1 60  
DEED BOOK 2944 PAGE 197

APPROXIMATE LIMITS OF FLOOD  
ZONE "AE" AS SCALED FROM  
FIRM PANEL 54039C0407E

REGULATORY FLOODWAY  
ZONE AE  
ZONE X

IPF 1" OTP

BUILDING

OVERHANG

S52°21'03"E  
209.10'

R/W LINE

MCCORKLE AVENUE SE  
(PUBLIC RIGHT-OF-WAY)

PARENT PARCEL  
ASTORG & SPEARS PROPERTIES, LLC  
PARCEL ID: 14 1 61  
DEED BOOK 3012 PAGE 201

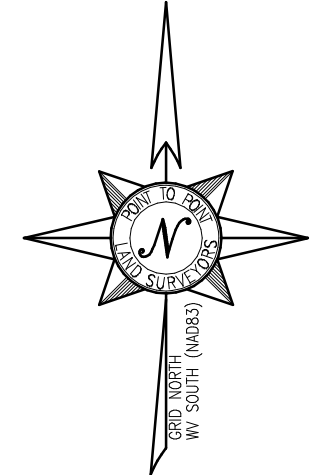
IPF 5/8" RB

20' NON-EXCLUSIVE ACCESS  
& UTILITY EASEMENT  
(SEE SHEET 2 FOR DETAIL)

LEASE AREA  
(SEE SHEET 2 FOR DETAIL)

10' NON-EXCLUSIVE  
UTILITY EASEMENT  
(SEE SHEET 2 FOR DETAIL)

FERRY STREET  
(PUBLIC RIGHT-OF-WAY)



**LEGEND**

POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
IPS	IRON PIN SET
IPF	IRON PIN FOUND
CRB	CAPPED REBAR
RB	REBAR
OTP	OPEN TOP PIPE
DI	DRAIN INLET
EP	EDGE OF PAVEMENT
BC	BACK OF CURB
HH	HANDHOLE
N/F	NOW OR FORMERLY
R/W	RIGHT-OF-WAY
☒	CONCRETE MONUMENT FOUND
○	UTILITY POLE
●	GUY WIRE ANCHOR
⊙	LIGHT POLE
⊙	SANITARY SEWER MANHOLE
⊕	BENCHMARK



CALL BEFORE YOU DIG



VICINITY MAP  
NOT TO SCALE

**GENERAL NOTES**

\* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF TOWERCOM VI-B, LLC AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: GEOMAX ZOOM ROBOTIC AND CARLSON BRX7 BASE AND ROVER [DATE OF LAST FIELD VISIT: 11/12/2024]. SEE GNSS NOTES FOR GNSS EQUIPMENT.

THE 1" CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON WEST VIRGINIA GRID NORTH (NAD 83) SOUTH ZONE.

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY PANEL NO. : 54039C0407E DATED: 02/06/2008

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

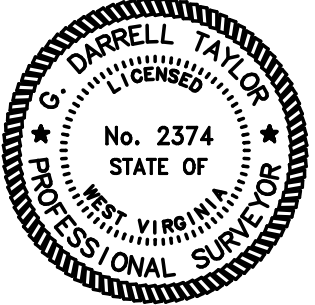
ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

**GNSS NOTES**

THE FOLLOWING GNSS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.01 FEET (HORZ) 0.21 FEET (VERT)  
TYPE OF EQUIPMENT: CARLSON BRX7 BASE AND ROVER, MULTI-FREQUENCY  
TYPE OF GNSS FIELD PROCEDURE: ONLINE POSITION USER SERVICE  
DATE OF SURVEY: 11/12/2024  
DATUM / EPOCH: NAD\_83(2011)(EPOCH:2010.0000)  
PUBLISHED / FIXED CONTROL USE: N/A  
GEOID MODEL: 18  
COMBINED GRID FACTOR(S): 0.99990585  
CENTERED ON THE BASE POINT AS SHOWN HEREON.  
CONVERGENCE ANGLE: -0.39560556"  
BENCHMARKS USED: DL9814, DF4048, DH9003

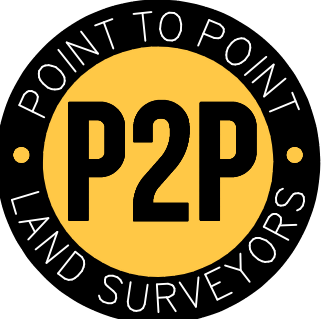


I HEREBY CERTIFY TO: TOWERCOM VI-B, LLC AND FIDELITY NATIONAL TITLE INSURANCE COMPANY THAT THIS MAP IS CORRECT AND WAS DRAWN UNDER MY DIRECT SUPERVISION. ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

*G. Darrell Taylor*  
12/10/2024  
G. DARRELL TAYLOR, WEST VIRGINIA PROFESSIONAL LAND SURVEYOR #2374

THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION.

\* SPECIFIC PURPOSE SURVEY PREPARED BY:



100 Governors Trace, Ste. 103  
Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497 (w) p2pls.com

SPECIFIC PURPOSE SURVEY PREPARED FOR:



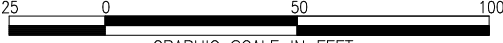
TOWERCOM VI-B, LLC  
241 ATLANTIC BLVD, STE. 201  
NEPTUNE BEACH, FL 32266

**HADDAD RIVERFRONT**

DISTRICT 14, 15TH WARD, CITY OF CHARLESTON  
KANAWHA COUNTY, WEST VIRGINIA

**PARENT PARCEL**

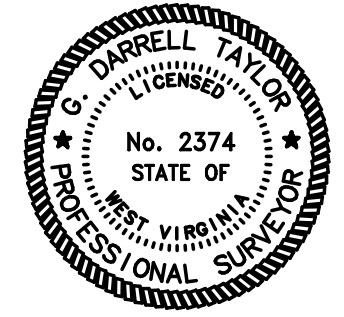
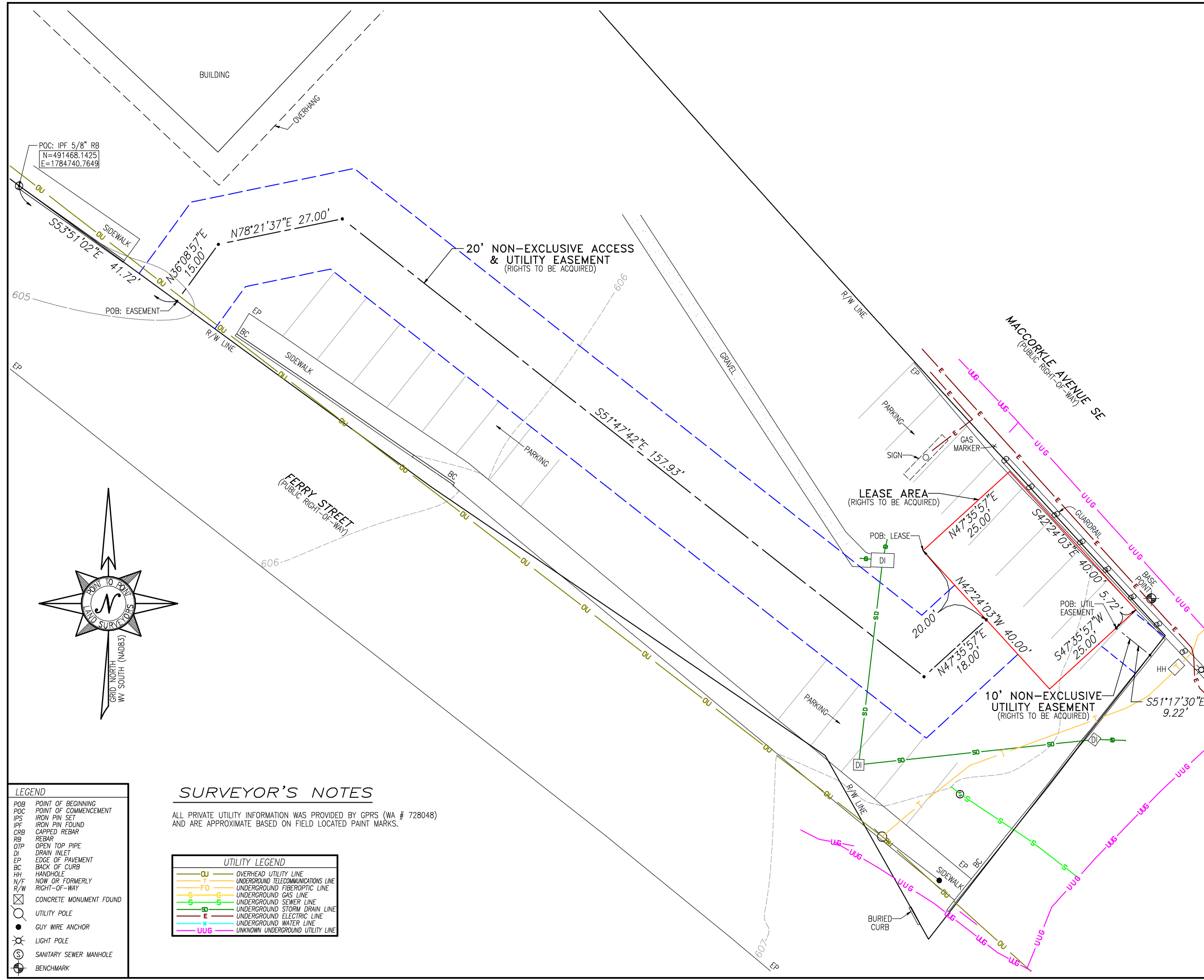
OWNER: ASTORG & SPEARS PROPERTIES, LLC  
SITE ADDRESS: 330 MCCORKLE AVENUE SE, CHARLESTON, WV 25314  
PARCEL ID: 14 1 61  
AREA: 1.1800 ACRES (PER TAX ASSESSOR)  
ZONED: C-10 - GENERAL COMMERCIAL DISTRICT  
REFERENCE: DEED BOOK 3012 PAGE 201



GRAPHIC SCALE IN FEET  
SCALE: 1" = 50' (11x17)

NO.	DATE	REVISION	DRAWN BY: TJM	SHEET:
			CHECKED BY: JKL	1
			APPROVED: D. MILLER	
			DATE: DECEMBER 10, 2024	
			P2P JOB #: 241560WV	OF 3

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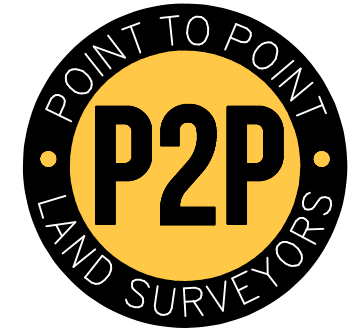


I HEREBY CERTIFY TO: TOWERCOM VI-B, LLC AND FIDELITY NATIONAL TITLE INSURANCE COMPANY THAT THIS MAP IS CORRECT AND WAS DRAWN UNDER MY DIRECT SUPERVISION. ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

*[Signature]* 12/10/2024  
 G. DARRELL TAYLOR, WEST VIRGINIA PROFESSIONAL LAND SURVEYOR #2374

THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION.

\* SPECIFIC PURPOSE SURVEY PREPARED BY:



100 Governors Trace, Ste. 103  
 Peachtree City, GA 30269  
 (p) 678.565.4440 (f) 678.565.4497 (w) p2pls.com

SPECIFIC PURPOSE SURVEY PREPARED FOR:

*[T]* TOWERCOM VI-B, LLC  
 241 ATLANTIC BLVD, STE. 201  
 NEPTUNE BEACH, FL 32266

HADDAD RIVERFRONT  
 DISTRICT 14, 15TH WARD, CITY OF CHARLESTON  
 KANAWHA COUNTY, WEST VIRGINIA

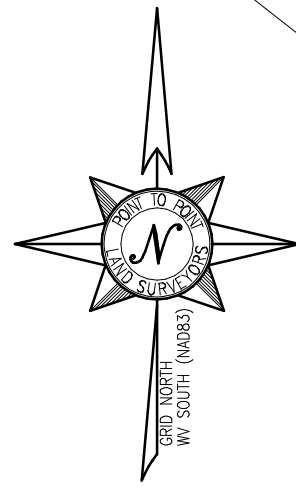
**SITE INFORMATION**

LEASE AREA = 1,000 SQUARE FEET (0.0230 ACRES)  
 AT CENTER LEASE AREA:  
 LATITUDE: 38°20'51.76" (NAD 83) (38.347711°)  
 LONGITUDE: -81°38'24.09" (NAD 83) (-81.640025°)  
 ELEVATION = 606.9' A.M.S.L.  
 VERTICAL DATUM: NAVD 1988 (COMPUTED USING GEOID18)  
 HORIZONTAL DATUM: NAD83  
 BEARINGS ARE BASED ON WEST VIRGINIA GRID NORTH (SOUTH ZONE)



NO.	DATE	REVISION	DRAWN BY: TJM	SHEET:
			CHECKED BY: JKL	2
			APPROVED: D. MILLER	
			DATE: DECEMBER 10, 2024	
			P2P JOB #: 241560WV	OF 3

SURVEY NOT VALID WITHOUT ALL SHEETS



**SURVEYOR'S NOTES**

ALL PRIVATE UTILITY INFORMATION WAS PROVIDED BY GPRS (WA # 728048) AND ARE APPROXIMATE BASED ON FIELD LOCATED PAINT MARKS.

UTILITY LEGEND	
	OVERHEAD UTILITY LINE
	UNDERGROUND TELECOMMUNICATIONS LINE
	UNDERGROUND FIBEROPTIC LINE
	UNDERGROUND GAS LINE
	UNDERGROUND SEWER LINE
	UNDERGROUND STORM DRAIN LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND WATER LINE
	UNKNOWN UNDERGROUND UTILITY LINE

LEGEND	
	POINT OF BEGINNING
	POINT OF COMMENCEMENT
	IRON PIN SET
	IRON PIN FOUND
	CAPPED REBAR
	REBAR
	OPEN TOP PIPE
	DRAIN INLET
	EDGE OF PAVEMENT
	BACK OF CURB
	HANDHOLE
	NOW OR FORMERLY
	RIGHT-OF-WAY
	CONCRETE MONUMENT FOUND
	UTILITY POLE
	GUY WIRE ANCHOR
	LIGHT POLE
	SANITARY SEWER MANHOLE
	BENCHMARK

E:\Point To Point Dropbox\241560WV-Haddad Riverfront\241560WV.pr

PARENT PARCEL

(PER COMMITMENT NO. 500009719)

AN INTEREST IN LAND, SAID INTEREST BEING OVER A PORTION OF THE FOLLOWING DESCRIBED PARENT PARCEL:

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND, TOGETHER WITH THE IMPROVEMENTS THEREON AND THE APPURTENANCES THEREUNTO

BELONGING, SITUATE IN KANAWHA COUNTY, WEST VIRGINIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A CONCRETE RIGHT OF WAY MARKER ON THE SOUTHWESTERLY LINE OF WEST VIRGINIA ROUTE 61 (SOUTH SIDE EXPRESSWAY), SAID MARKER BEING 43 FEET DISTANT MEASURED RADIALLY IN A SOUTHWESTERLY DIRECTION FROM THE CENTERLINE OF SAID ROUTE 61 AT HIGHWAY STATION 102+00, SAID MARKER ALSO BEING AT THE END OF THE SIXTH LINE DESCRIBED IN A DEED DATED MAY 12, 1970, FROM THE CHESAPEAKE AND OHIO RAILWAY COMPANY TO WEST VIRGINIA DEPARTMENT OF HIGHWAYS, RECORDED AMONG THE LAND RECORDS OF KANAWHA COUNTY, WEST VIRGINIA IN DEED BOOK 1602, PAGE 168; THENCE ALONG THE SOUTHWESTERLY LINE OF WEST VIRGINIA ROUTE 61 THE FOUR (4) FOLLOWING COURSES AND DISTANCES: (1) S 39°09' E, 4.12 FEET TO A 5/8" REINFORCED STEEL BAR, (2) BY A CURVE TO THE LEFT HAVING A RADIUS OF 5772.58 FEET, FOR A DISTANCE OF 197.50 FEET, THE CHORD OF WHICH BEARS S 39°41' E, 197.49 FEET TO A 5/8" REINFORCED STEEL BAR, (3) BY A CURVE TO THE LEFT HAVING A RADIUS OF 6441.76 FEET, FOR A DISTANCE OF 75.72 FEET, THE CHORD OF WHICH BEARS S 41°03' E, 75.72 FEET TO A 5/8" REINFORCED STEEL BAR AND (4) S 41°03' E, 42.12 FEET TO A PK CONCRETE NAIL WITH PLASTIC FLAGGING; THENCE LEAVING THE SOUTHWESTERLY LINE OF WEST VIRGINIA ROUTE 61 S 39°18' W, 82.14 FEET TO A PK CONCRETE NAIL WITH PLASTIC FLAGGING; THENCE N 28°01' W, 44.97 FEET TO A PK CONCRETE NAIL WITH PLASTIC FLAGGING; THENCE N 54°22' W, 101.75 FEET TO A PK CONCRETE NAIL WITH PLASTIC FLAGGING; THENCE N 52°30' W, 108.85 FEET TO A 5/8" REINFORCED STEEL BAR; THENCE N 51°06' W, 209.10 FEET TO A 3/4" STEEL PIPE ON THE SOUTHEASTERLY LINE OF PROPERTY LEASED BY STEAK AND ALE RESTAURANTS OF AMERICA, INC., SAID LEASE RECORDED AMONG SAID LAND RECORDS IN LEASE BOOK 199, PAGE 350; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID LEASE N 44°32' E, 155.68 FEET TO A 3/4" STEEL PIPE ON THE SOUTHWESTERLY LINE OF WEST VIRGINIA ROUTE 61; THENCE ALONG SAID SOUTHWESTERLY LINE OF WEST VIRGINIA ROUTE 61 S 42°43' E, 134.36 FEET TO A WOOD HUB AND TACK; THENCE S 50°51' W, 2.00 FEET TO THE PLACE OF BEGINNING, CONTAINING 51,679 SQUARE FEET OR 1.186 ACRES, MORE OR LESS.

AND BEING THE SAME PROPERTY CONVEYED TO ASTORG & SPEARS PROPERTIES, LLC, A WEST VIRGINIA LIMITED LIABILITY COMPANY FROM FOUR K, LLC, A WEST VIRGINIA LIMITED LIABILITY COMPANY BY DEED DATED SEPTEMBER 10, 2018 AND RECORDED SEPTEMBER 10, 2018 IN DEED BOOK 3012, PAGE 201.

TAX PARCEL NO. 07370463

TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT DATE OF NOVEMBER 6, 2024 AT 12:00 AM, BEING COMMITMENT NO. 500009719, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

ITEMS 1-8 ARE STANDARD EXCEPTIONS AND NOT THE TYPE TO BE DEPICTED.

9. EASEMENT IN FAVOR OF APPALACHIAN POWER COMPANY, ITS SUCCESSORS AND ASSIGNS SET FORTH IN INSTRUMENT RECORDED ON SEPTEMBER 25, 1978 IN DEED BOOK 1882, PAGE 100.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL BUT IS NOT PLOTTED HEREON BECAUSE IT IS BLANKET IN NATURE.]

10. NOTICE OF SUPPLEMENTAL FINAL ORDER AND JUDGMENT IN FAVOR OF AT&T CORP. AND AT&T COMMUNICATIONS - EAST, INC. (FORMERLY AT&T COMMUNICATIONS, INC.) SET FORTH IN INSTRUMENT RECORDED ON JULY 17, 2007 IN DEED BOOK 2695, PAGE 62.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL, BUT IS NOT PLOTTED HEREON BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE AND WE ARE NOT ABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

11. COMMERCIAL REAL ESTATE DEED OF TRUST FROM ASTORG & SPEARS PROPERTIES, LLC, A WEST VIRGINIA LIMITED LIABILITY COMPANY, GRANTOR(S), TO DOUGLAS B. ERNEST, TRUSTEE(S), IN FAVOR OF UNITED BANK, DATED MAY 11, 2020, AND RECORDED JULY 27, 2020 IN DEED BOOK 4437, PAGE 56, IN THE ORIGINAL AMOUNT OF \$11,257,225.92; AFFECTED BY ASSIGNMENT OF LEASES AND RENTS DATED MAY 11, 2020 AND RECORDED ON JULY 27, 2020 IN DEED BOOK 270, PAGE 132; AFFECTED BY SUBORDINATION AND PRIORITY AGREEMENT DATED MAY 11, 2020 AND RECORDED ON MARCH 28, 2022 IN DEED BOOK 1363, PAGE 942; AFFECTED BY SUBORDINATION AND PRIORITY AGREEMENT DATED MAY 11, 2020 AND RECORDED ON SEPTEMBER 1, 2022 IN DEED BOOK 1373, PAGE 68.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL BUT IS NOT PLOTTED HEREON BECAUSE IT IS BLANKET IN NATURE.]

LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE 15TH WARD, DISTRICT 14, CITY OF CHARLESTON, KANAWHA COUNTY, WEST VIRGINIA, BEING A PORTION OF THE LANDS OF ASTORG & SPEARS PROPERTIES, LLC, AS RECORDED IN DEED BOOK 3012 PAGE 201, KANAWHA COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND ON THE NORTHEAST RIGHT-OF-WAY LINE OF FERRY STREET, A PUBLIC RIGHT-OF-WAY; SAID REBAR HAVING A WEST VIRGINIA GRID NORTH, NAD 83, SOUTH ZONE VALUE OF N=491468.1425, E=1784740.7649; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, SOUTH 53°51'02" EAST, 41.72 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, NORTH 36°08'57" EAST, 15.00 FEET TO A POINT; THENCE, NORTH 78°21'37" EAST, 27.00 FEET TO A POINT; THENCE, SOUTH 51°47'42" EAST, 157.93 FEET TO A POINT; THENCE, NORTH 47°35'57" EAST, 18.00 FEET TO A POINT ON THE LEASE AREA; THENCE RUNNING ALONG SAID LEASE AREA, NORTH 42°24'03" WEST, 20.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE, NORTH 47°35'57" EAST, 25.00 FEET TO A POINT; THENCE, SOUTH 42°24'03" EAST, 40.00 FEET TO A POINT; THENCE, SOUTH 47°35'57" WEST, 25.00 FEET TO A POINT; THENCE, NORTH 42°24'03" WEST, 40.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON WEST VIRGINIA GRID NORTH, NAD83, SOUTH ZONE.

SAID TRACT CONTAINS 0.0230 ACRES (1,000 SQUARE FEET), MORE OR LESS.

20' NON-EXCLUSIVE ACCESS & UTILITY EASEMENT

TOGETHER WITH A 30-FOOT WIDE NON-EXCLUSIVE ACCESS & UTILITY EASEMENT (MEASURING 15 FEET EACH SIDE OF CENTERLINE) LYING AND BEING IN THE 15TH WARD, DISTRICT 14, CITY OF CHARLESTON, KANAWHA COUNTY, WEST VIRGINIA, BEING A PORTION OF THE LANDS OF ASTORG & SPEARS PROPERTIES, LLC, AS RECORDED IN DEED BOOK 3012 PAGE 201, KANAWHA COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND ON THE NORTHEAST RIGHT-OF-WAY LINE OF FERRY STREET, A PUBLIC RIGHT-OF-WAY; SAID REBAR HAVING A WEST VIRGINIA GRID NORTH, NAD 83, SOUTH ZONE VALUE OF N=491468.1425, E=1784740.7649; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, SOUTH 53°51'02" EAST, 41.72 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, NORTH 36°08'57" EAST, 15.00 FEET TO A POINT; THENCE, NORTH 78°21'37" EAST, 27.00 FEET TO A POINT; THENCE, SOUTH 51°47'42" EAST, 157.93 FEET TO A POINT; THENCE, NORTH 47°35'57" EAST, 18.00 FEET TO THE ENDING AT A POINT ON THE LEASE AREA.

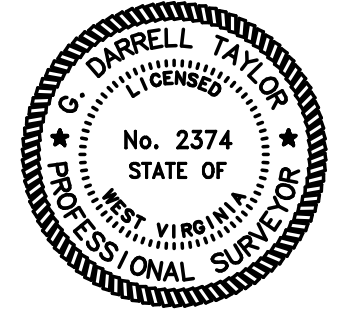
BEARINGS BASED ON WEST VIRGINIA GRID NORTH, NAD83, SOUTH ZONE.

10' NON-EXCLUSIVE UTILITY EASEMENT

TOGETHER WITH A 10-FOOT WIDE NON-EXCLUSIVE ACCESS & UTILITY EASEMENT (MEASURING 5 FEET EACH SIDE OF CENTERLINE) LYING AND BEING IN THE 15TH WARD, DISTRICT 14, CITY OF CHARLESTON, KANAWHA COUNTY, WEST VIRGINIA, BEING A PORTION OF THE LANDS OF ASTORG & SPEARS PROPERTIES, LLC, AS RECORDED IN DEED BOOK 3012 PAGE 201, KANAWHA COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND ON THE NORTHEAST RIGHT-OF-WAY LINE OF FERRY STREET, A PUBLIC RIGHT-OF-WAY; SAID REBAR HAVING A WEST VIRGINIA GRID NORTH, NAD 83, SOUTH ZONE VALUE OF N=491468.1425, E=1784740.7649; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE, SOUTH 53°51'02" EAST, 41.72 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND RUNNING, NORTH 36°08'57" EAST, 15.00 FEET TO A POINT; THENCE, NORTH 78°21'37" EAST, 27.00 FEET TO A POINT; THENCE, SOUTH 51°47'42" EAST, 157.93 FEET TO A POINT; THENCE, NORTH 47°35'57" EAST, 18.00 FEET TO A POINT ON THE LEASE AREA; THENCE RUNNING ALONG SAID LEASE AREA, NORTH 42°24'03" WEST, 20.00 FEET TO A POINT; THENCE, NORTH 47°35'57" EAST, 25.00 FEET TO A POINT; THENCE, SOUTH 42°24'03" EAST, 40.00 FEET TO A POINT; THENCE, SOUTH 47°35'57" WEST, 5.72 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID LEASE AREA AND RUNNING, SOUTH 51°17'30" EAST, 9.22 FEET TO THE ENDING AT A POINT ON THE EAST LINE OF SAID LANDS.

BEARINGS BASED ON WEST VIRGINIA GRID NORTH, NAD83, SOUTH ZONE.



I HEREBY CERTIFY TO: TOWERCOM VI-B, LLC AND FIDELITY NATIONAL TITLE INSURANCE COMPANY THAT THIS MAP IS CORRECT AND WAS DRAWN UNDER MY DIRECT SUPERVISION. ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

*[Signature]* 12/10/2024  
G. DARRELL TAYLOR, WEST VIRGINIA PROFESSIONAL LAND SURVEYOR #2374

THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION.

\* SPECIFIC PURPOSE SURVEY PREPARED BY:



100 Governors Trace, Ste. 103  
Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497 (w) p2pls.com

SPECIFIC PURPOSE SURVEY PREPARED FOR:



TOWERCOM VI-B, LLC  
241 ATLANTIC BLVD, STE. 201  
NEPTUNE BEACH, FL 32266

HADDAD RIVERFRONT

DISTRICT 14, 15TH WARD, CITY OF CHARLESTON  
KANAWHA COUNTY, WEST VIRGINIA

LEGAL DESCRIPTION & TITLE REVIEW SHEET

NO.	DATE	REVISION	DRAWN BY: TJM	SHEET:
			CHECKED BY: JKL	3
			APPROVED: D. MILLER	
			DATE: DECEMBER 10, 2024	
			P2P JOB #: 241560WV	
			OF 3	

**1.00 GENERAL NOTES**

- 1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- 1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND TOWERCOM SPECIFICATIONS, THE TOWERCOM PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
- 1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- 1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- 1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.
- 1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- 1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM TOWERCOM PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
- 1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- 1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- 1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "WEST VIRGINIA 811" 48 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (800) 245-4848 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- 1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- 1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY TOWERCOM PROJECT MANAGER.
- 1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER TOWERCOM PROJECT MANAGER'S INSTRUCTIONS. SEE DETAIL ON SHEET C4.

**TOWERCOM**

PROJECT INFORMATION:

SITE NAME:  
HADDAD  
330 MACCORKLE AVENUE SE  
CHARLESTON, WV 25314  
KANAWHA COUNTY

PLANS PREPARED BY:

**Kimley»Horn**

11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM  
NC License F-0102

REV: DATE: ISSUED FOR: BY:

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5			
4			
3			
2			
1	01/14/25	ZONING	AVF
0	01/09/25	ZONING	AVF

LICENSER:



KHA PROJECT NUMBER:

017177028

DRAWN BY: CHECKED BY:

DJL ALP

SHEET TITLE:

**GENERAL NOTES**

SHEET NUMBER:

**N1**

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TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTHEAST	13'-5"
SOUTHEAST	30'-1"
NORTHWEST	422'-11"
SOUTHWEST	57'-5"

TOWER SETBACKS TO NEAREST RESIDENTIAL (FROM TOWER CENTER)	
SOUTHWEST	449'-0"

N/F  
CONSTRUCTION SOLUTIONS  
& LEASING, LLC  
PARCEL ID: 14 1 60  
DB 2944 PG 197

PARENT PARCEL  
ASTORG & SEARS  
PROPERTIES, LLC  
PARCEL ID: 14 1 61  
DB 3012 PG 201  
ZONING: C-10 GENERAL  
COMMERCIAL DISTRICT

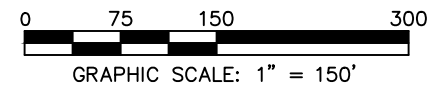
APPROXIMATE LIMITS OF FLOOD  
ZONE "AE" AS SCALED FROM  
FIRM PANEL 54039C0407E

PROPOSED TOWERCOM LLC  
25' X 40' LEASE AREA  
(±1,000 SQ FT)

- NOTE:**
- PER FCC ASR NEAREST TELECOMMUNICATIONS STRUCTURE IS 255' AGL ANTENNAS SUPPORTED BY BUILDING OWNED BY KVB PARTNERS, LOCATED 0.44 MILES NE AT COORDINATES 38° 21' 02.0"N, 81° 37' 58.0"W.
  - PER FCC ASR NEXT CLOSEST TOWER IS A 255' GUYED TOWER OWNED BY KANAWHA VALLEY REGIONAL TRANSPORTATION AUTHORITY LOCATED 0.48 MILES NE AT COORDINATES: 38° 21' 11.2"N, 81° 38' 04.3"W.

- SURVEY NOTE:**
- TOWERCOM STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
  - PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY POINT TO POINT LAND SURVEYORS DELIVERED 12/10/24 SURVEYED ON 11/12/24.

**1**  
**C0** **OVERALL AERIAL PLAN**  
SCALE: 1" = 150'



**TOWERCOM**

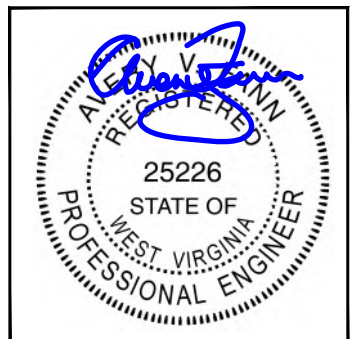
PROJECT INFORMATION:  
  
SITE NAME:  
HADDAD  
330 MACCORKLE AVENUE SE  
CHARLESTON, WV 25314  
KANAWHA COUNTY

PLANS PREPARED BY:  
**Kimley»Horn**  
11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM  
NC License F-0102

REV: DATE: ISSUED FOR: BY:

8			
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6			
5			
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2			
1	01/14/25	ZONING	AVF
0	01/09/25	ZONING	AVF

LICENSER:



KHA PROJECT NUMBER:  
017177028

DRAWN BY: DJL CHECKED BY: ALP

SHEET TITLE:

**OVERALL AERIAL  
PLAN**

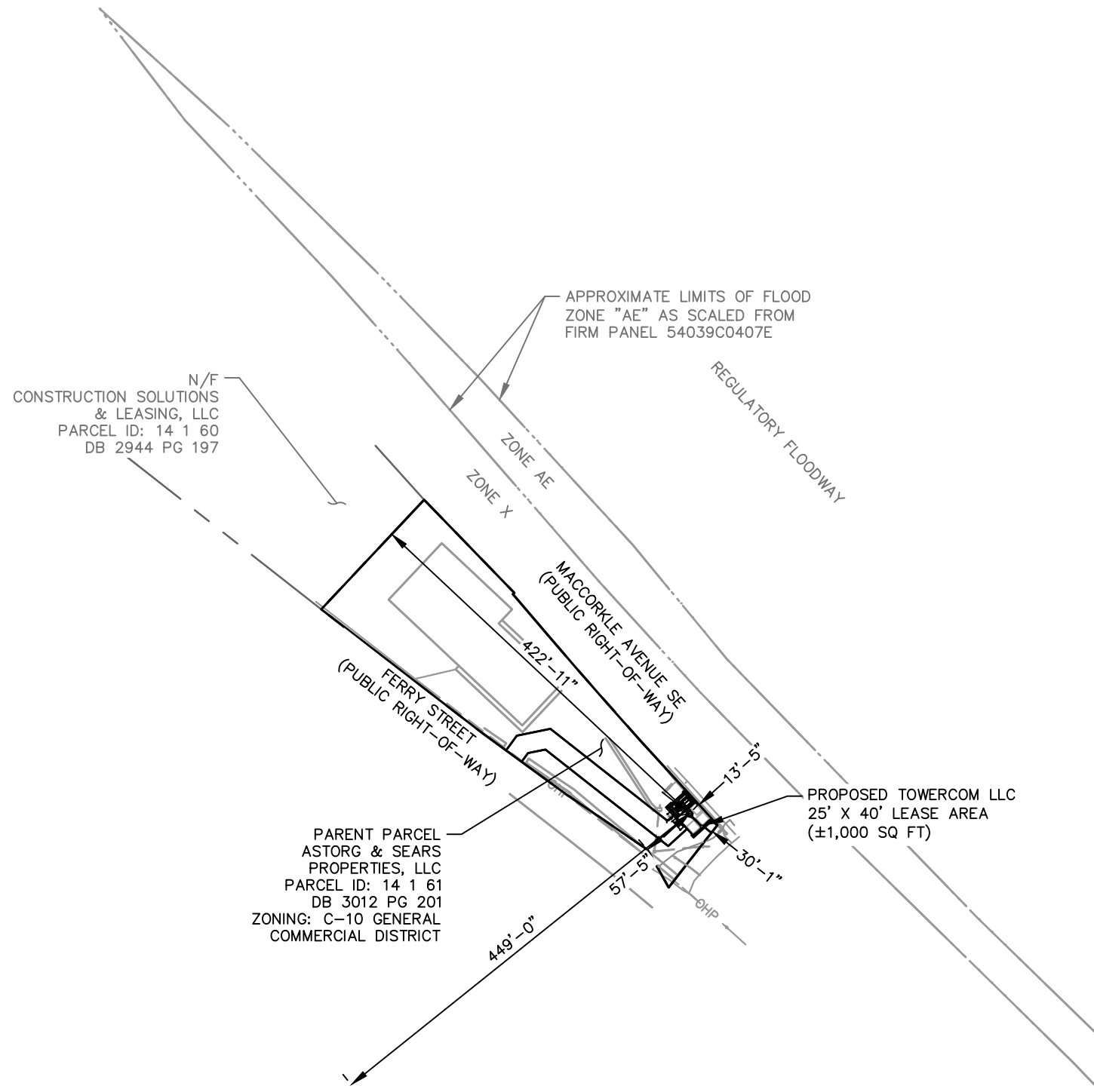
SHEET NUMBER:

**C0**

K:\ATL\_Wireless\TowerCom\Haddad\CAD\ZD\ECorr-gb.dwg 01/14/25 1:04 PM by: drew.pitts

TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTHEAST	13'-5"
SOUTHEAST	30'-1"
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SOUTHWEST	57'-5"

TOWER SETBACKS TO NEAREST RESIDENTIAL (FROM TOWER CENTER)	
SOUTHWEST	449'-0"



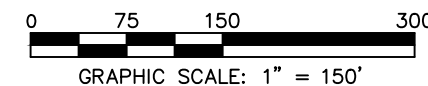
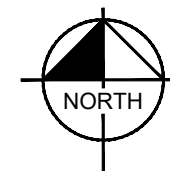
**NOTE:**

- PER FCC ASR NEAREST TELECOMMUNICATIONS STRUCTURE IS 255' AGL ANTENNAS SUPPORTED BY BUILDING OWNED BY KVB PARTNERS, LOCATED 0.44 MILES NE AT COORDINATES 38° 21' 02.0"N, 81° 37' 58.0"W.
- PER FCC ASR NEXT CLOSEST TOWER IS A 255' GUYED TOWER OWNED BY KANAWHA VALLEY REGIONAL TRANSPORTATION AUTHORITY LOCATED 0.48 MILES NE AT COORDINATES: 38° 21' 11.2"N, 81° 38' 04.3"W.

**SURVEY NOTE:**

- TOWERCOM STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
- PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY POINT TO POINT LAND SURVEYORS DELIVERED 12/10/24 SURVEYED ON 11/12/24.

**1**  
**C1** OVERALL PARCEL PLAN  
SCALE: 1" = 150'



**TOWERCOM**

PROJECT INFORMATION:

SITE NAME:  
HADDAD  
330 MACCORKLE AVENUE SE  
CHARLESTON, WV 25314  
KANAWHA COUNTY

PLANS PREPARED BY:

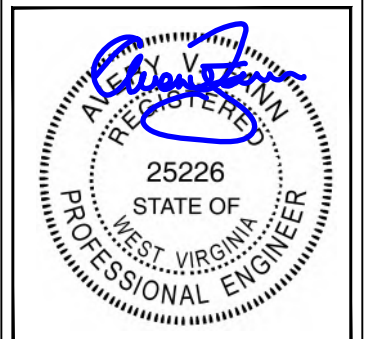
**Kimley»Horn**

11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM  
NC License F-0102

REV: DATE: ISSUED FOR: BY:

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LICENSER:



KHA PROJECT NUMBER:

017177028

DRAWN BY: CHECKED BY:

DJL

ALP

SHEET TITLE:

OVERALL PARCEL PLAN

SHEET NUMBER:

C1

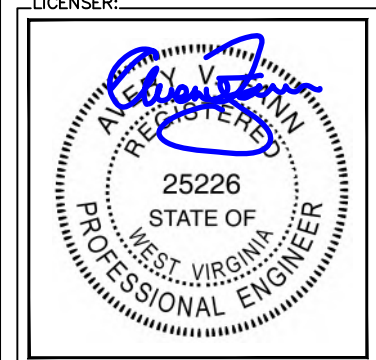
PROJECT INFORMATION:  
 SITE NAME:  
 HADDAD  
 330 MACCORKLE AVENUE SE  
 CHARLESTON, WV 25314  
 KANAWHA COUNTY

PLANS PREPARED BY:  
**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
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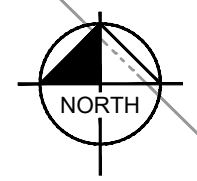
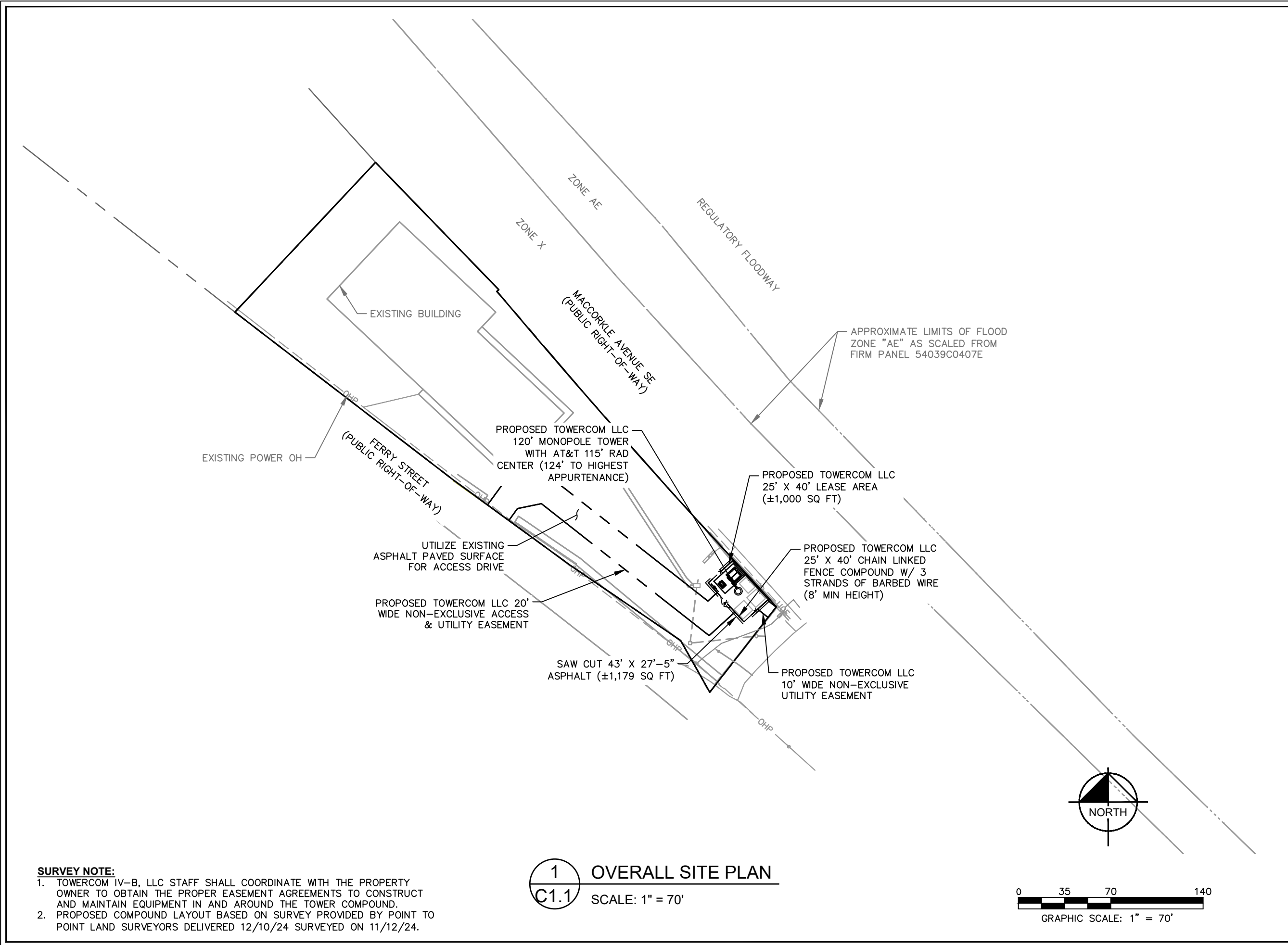
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KHA PROJECT NUMBER:  
 017177028  
 DRAWN BY: DJL CHECKED BY: ALP

SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**C1.1**



**1 OVERALL SITE PLAN**  
**C1.1** SCALE: 1" = 70'

- SURVEY NOTE:**
- TOWERCOM IV-B, LLC STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
  - PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY POINT TO POINT LAND SURVEYORS DELIVERED 12/10/24 SURVEYED ON 11/12/24.

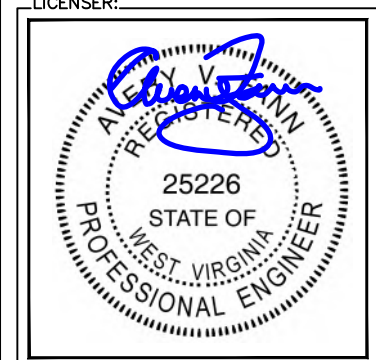
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PROJECT INFORMATION:  
 SITE NAME:  
 HADDAD  
 330 MACCORKLE AVENUE SE  
 CHARLESTON, WV 25314  
 KANAWHA COUNTY

PLANS PREPARED BY:  
**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
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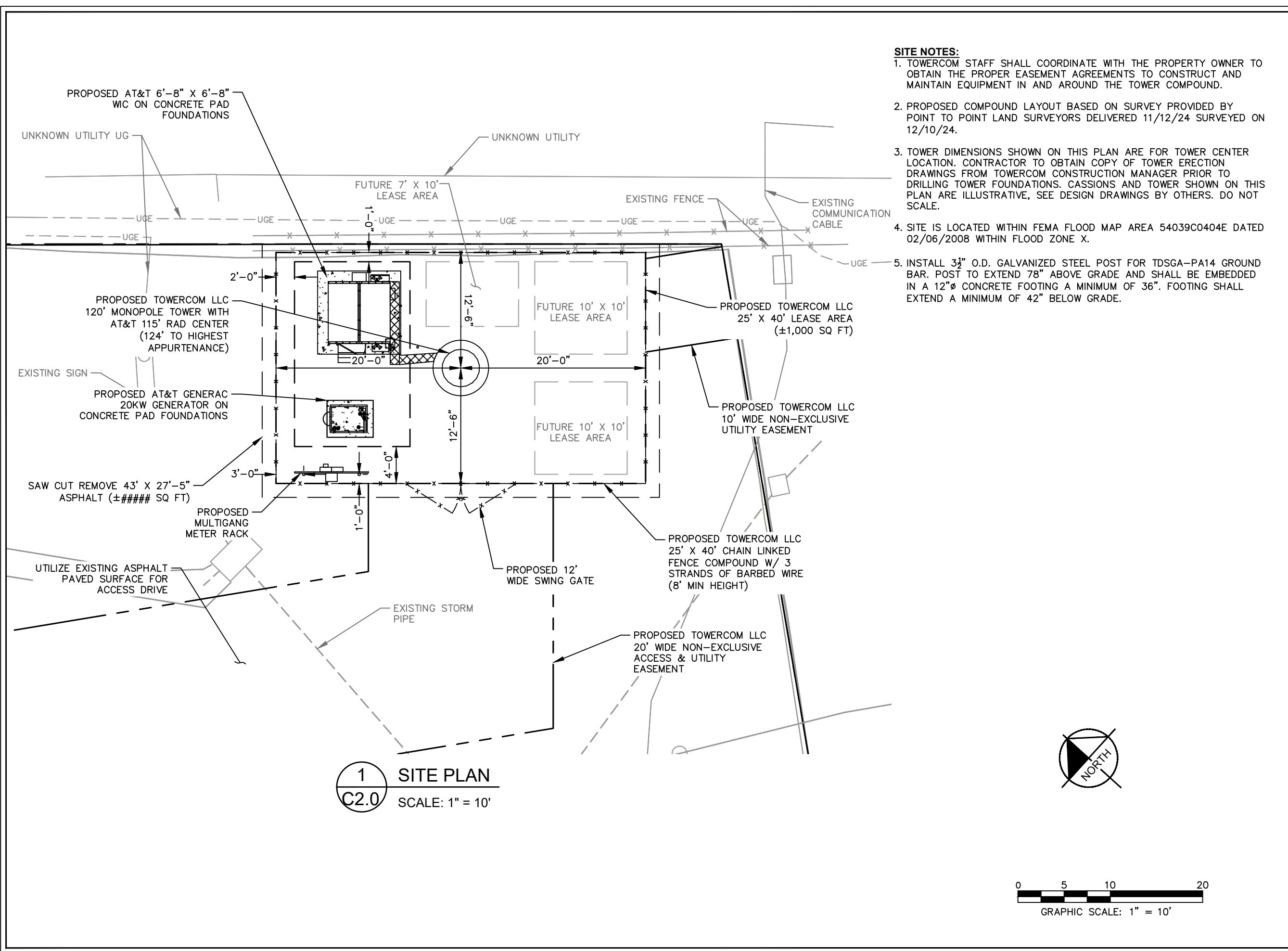
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 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 DJL ALP

SHEET TITLE:  
**SITE PLAN**

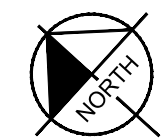
SHEET NUMBER:  
**C2.0**

**SITE NOTES:**

1. TOWERCOM STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY POINT TO POINT LAND SURVEYORS DELIVERED 11/12/24 SURVEYED ON 12/10/24.
3. TOWER DIMENSIONS SHOWN ON THIS PLAN ARE FOR TOWER CENTER LOCATION. CONTRACTOR TO OBTAIN COPY OF TOWER ERECTION DRAWINGS FROM TOWERCOM CONSTRUCTION MANAGER PRIOR TO DRILLING TOWER FOUNDATIONS. CASSIONS AND TOWER SHOWN ON THIS PLAN ARE ILLUSTRATIVE, SEE DESIGN DRAWINGS BY OTHERS. DO NOT SCALE.
4. SITE IS LOCATED WITHIN FEMA FLOOD MAP AREA 54039C0404E DATED 02/06/2008 WITHIN FLOOD ZONE X.
5. INSTALL 3/2" O.D. GALVANIZED STEEL POST FOR TDGSA-PA14 GROUND BAR. POST TO EXTEND 78" ABOVE GRADE AND SHALL BE EMBEDDED IN A 12"Ø CONCRETE FOOTING A MINIMUM OF 36". FOOTING SHALL EXTEND A MINIMUM OF 42" BELOW GRADE.

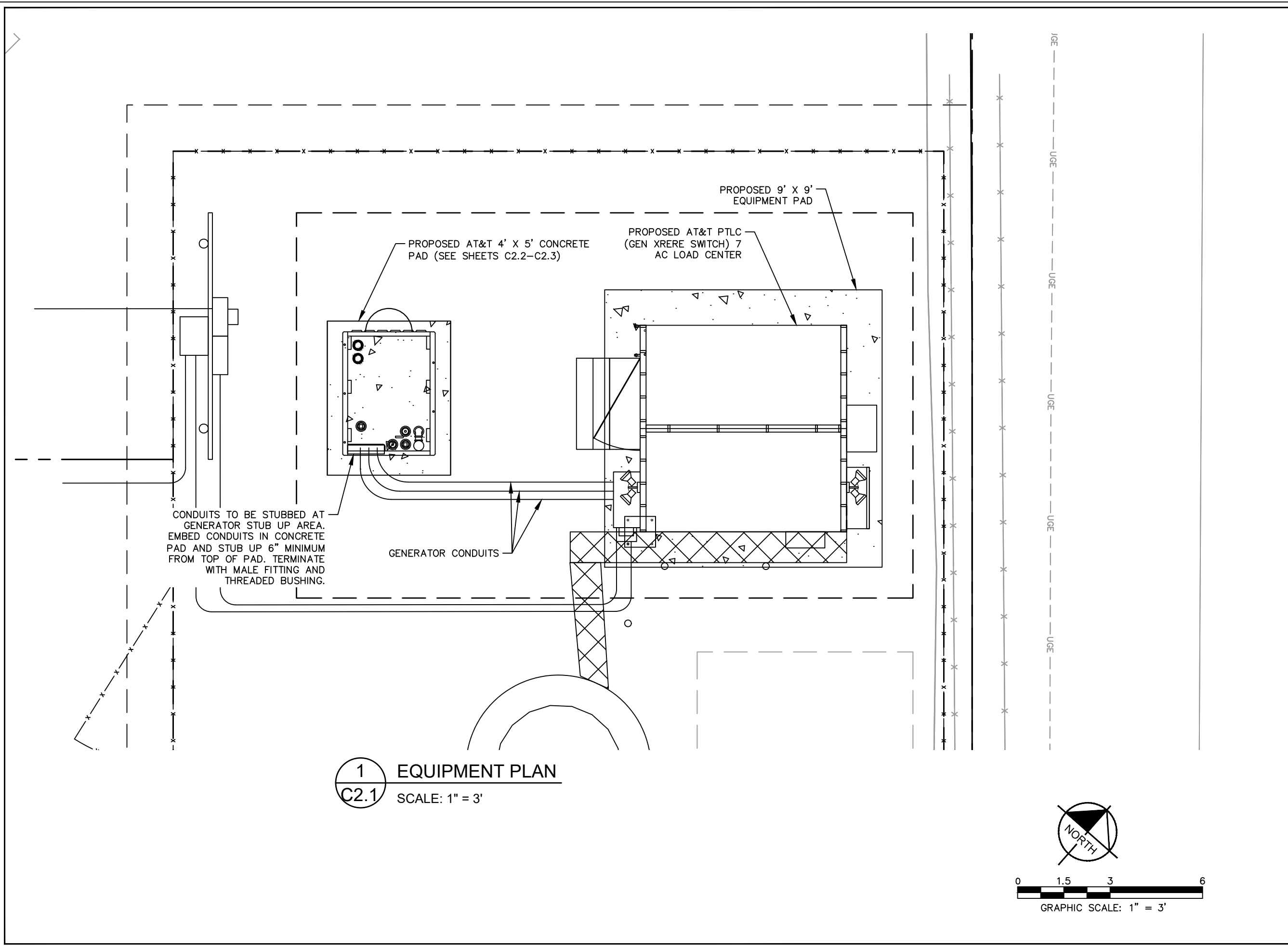


**1 SITE PLAN**  
 C2.0 SCALE: 1" = 10'



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TOWERCOM

PROJECT INFORMATION:

SITE NAME:  
HADDAD

330 MACCORKLE AVENUE SE  
CHARLESTON, WV 25314  
KANAWHA COUNTY

PLANS PREPARED BY:

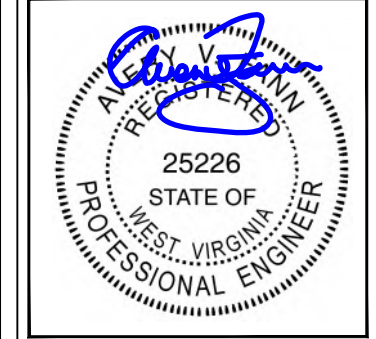
**Kimley»Horn**

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LICENSER:



KHA PROJECT NUMBER: 017177028

DRAWN BY: DJL CHECKED BY: ALP

SHEET TITLE:

EQUIPMENT PLAN

SHEET NUMBER:

C2.1

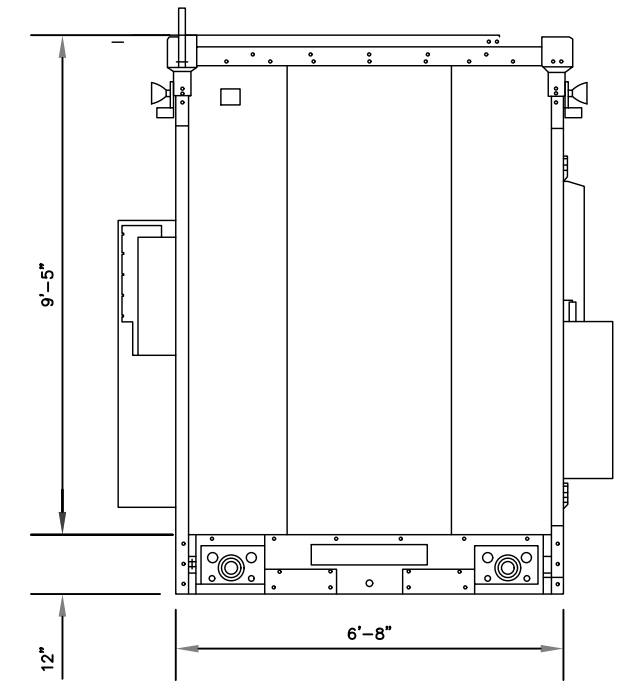
PROJECT INFORMATION:

SITE NAME:  
HADDAD  
330 MACCORKLE AVENUE SE  
CHARLESTON, WV 25314  
KANAWHA COUNTY

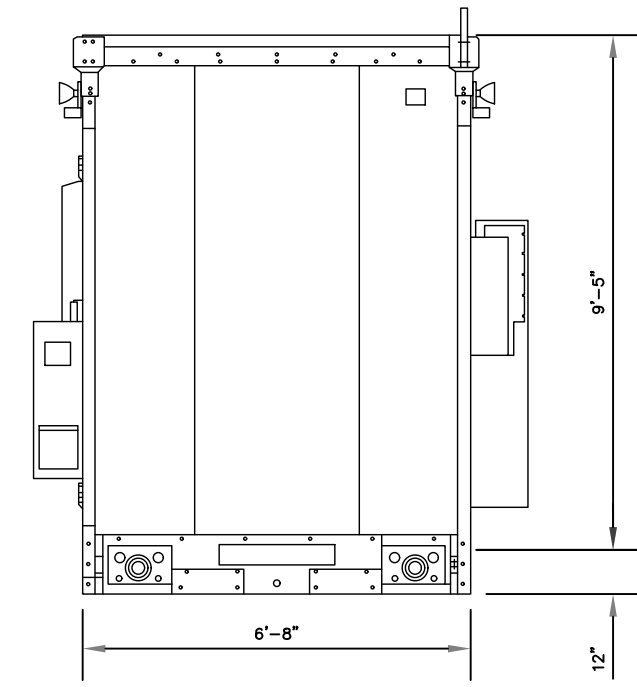
PLANS PREPARED BY:

**Kimley»Horn**

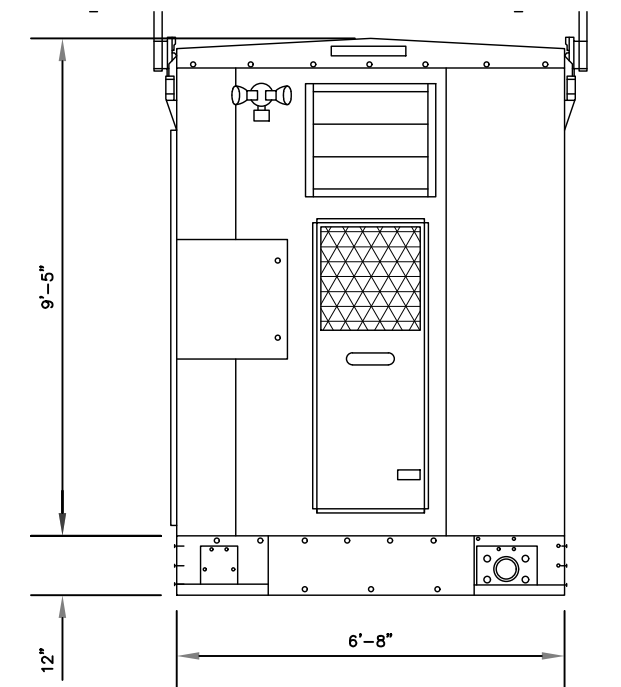
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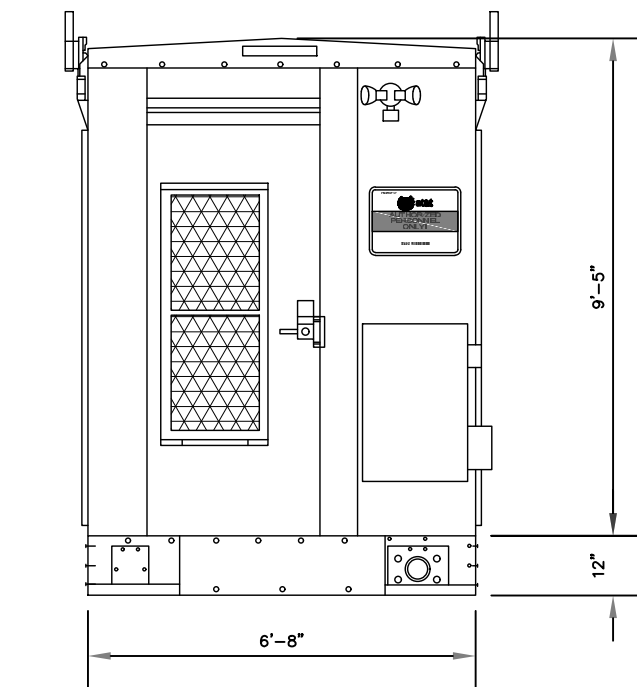
**1** LEFT ELEVATION  
**C2.2** SCALE: 1" = 3'-0"



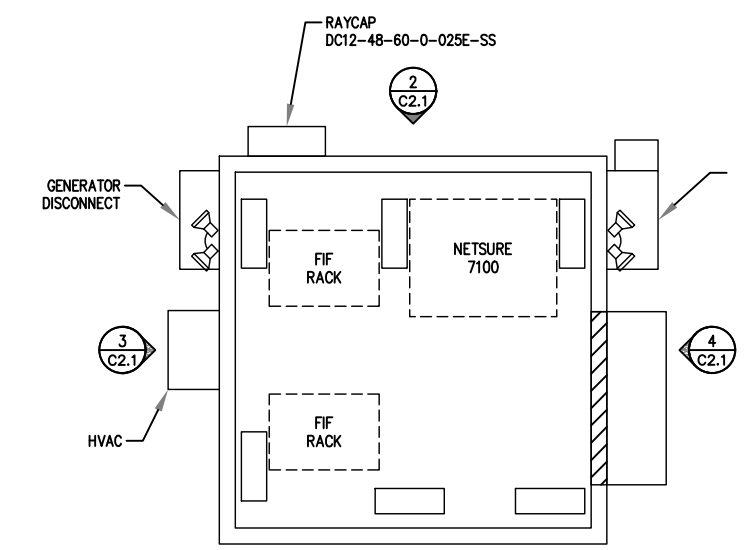
**2** RIGHT ELEVATION  
**C2.2** SCALE: 1" = 3'-0"



**3** REAR ELEVATION  
**C2.2** SCALE: 1" = 3'-0"



**4** FRONT ELEVATION  
**C2.2** SCALE: 1" = 3'-0"



**DETAIL**

CONDITIONS IN FIELD MAY VARY SLIGHTLY. PLEASE REFER TO MANUFACTURER'S SPECIFICATIONS SUBMITTED WITH THESE DRAWINGS TO CONFIRM ALL EQUIPMENT LAYOUTS AND DESIGNS.

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LICENSER:

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KHA PROJECT NUMBER:

017177028

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

DJL ALP

SHEET TITLE:

**WIC PLAN AND ELEVATION**

SHEET NUMBER:

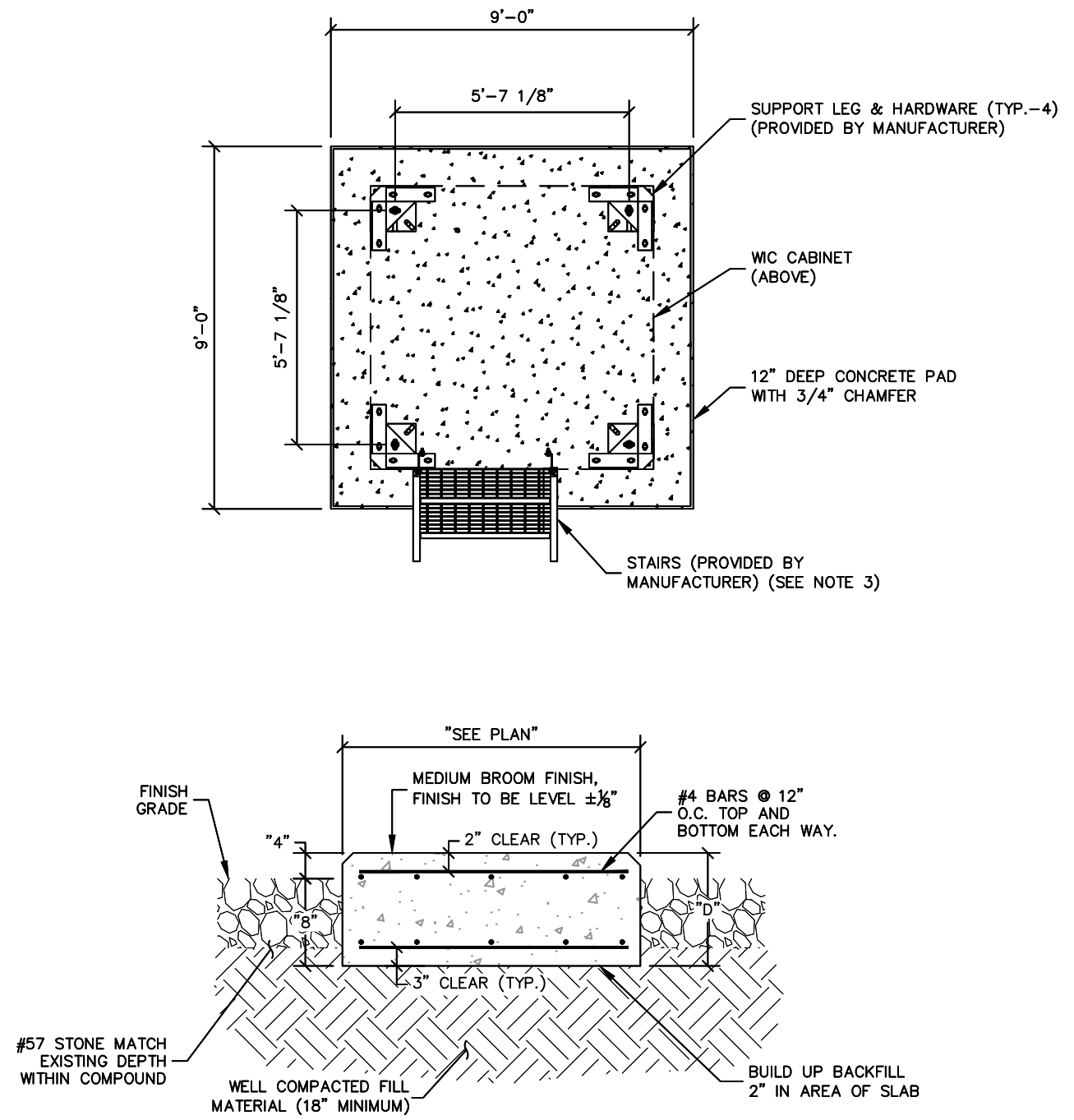
**C2.2**

K:\ATL\_Wireless\TowerCom\Haddad\CAD\ZD\ECor-GB.dwg 01/14/25 1:05 PM by: drew.pitts

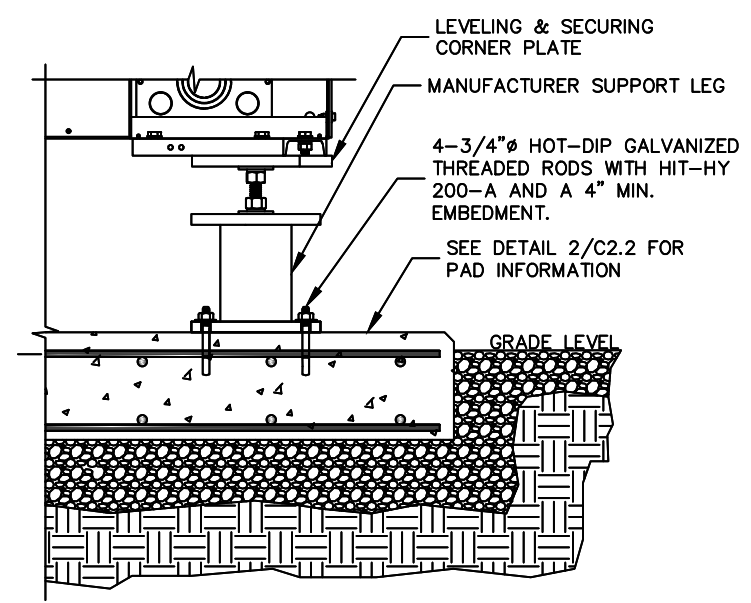
PROJECT INFORMATION:  
 SITE NAME:  
 HADDAD  
 330 MACCORKLE AVENUE SE  
 CHARLESTON, WV 25314  
 KANAWHA COUNTY

PLANS PREPARED BY:  
**Kimley»Horn**  
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CONCRETE PAD SCHEDULE				
PAD TYPE	"L"	"W"	"D"	REINFORCEMENT
EQUIPMENT PAD	9'-0"	9'-0"	12"	SEE DETAIL 1/C2.2
GENERATOR PAD	5'-0"	4'-0"	12"	SEE DETAIL 2/C2.2

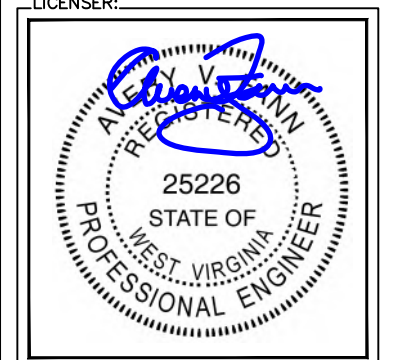


- WALK-IN-CABINET NOTES:
1. WALK-IN CABINET (WIC) TO BE INSTALLED ACCORDING TO MANUFACTURER RECOMMENDATIONS & SPECIFICATIONS.
  2. CONTRACTOR TO CONFIRM PARTS & HARDWARE PRIOR TO CONSTRUCTION & COORDINATE WITH AT&T CM.
  3. CONTRACTOR SHALL MAINTAIN A MAXIMUM 18" CLEARANCE FROM GRADE TO BOTTOM OF WIC TO ACCOMMODATE STAIRS. VERIFY IN FIELD PRIOR TO POST INSTALLATION.
  4. COORDINATE POWER & TELCO CONDUIT STUBUP PLACEMENT WITH ELECTRICAL TRADES.
  5. PROVIDE WORKING HVAC AND ELECTRICAL WORKING SPACE CLEARANCE PER MANUFACTURES RECOMMENDATIONS & CODE REQUIREMENTS.
  6. WIC DIMENSIONS: 6'-8"W X 6'-8"L X 9'-6" TALL (NO BASE) WIC WEIGHT: 5500 LBS (EMPTY) 7500 LBS (FULLY INTEGRATED)
  7. CONTRACTOR TO PROVIDE AND INSTALL SPECIFIED CONCRETE ANCHORS.



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KHA PROJECT NUMBER:  
 017177028  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 DJL ALP

SHEET TITLE:  
**CONCRETE PAD FOUNDATION DETAILS**

SHEET NUMBER:  
**C2.3**

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PROJECT INFORMATION:  
 SITE NAME:  
 HADDAD  
 330 MACCORKLE AVENUE SE  
 CHARLESTON, WV 25314  
 KANAWHA COUNTY

PLANS PREPARED BY:  
**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
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KHA PROJECT NUMBER:  
 017177028  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 DJL ALP

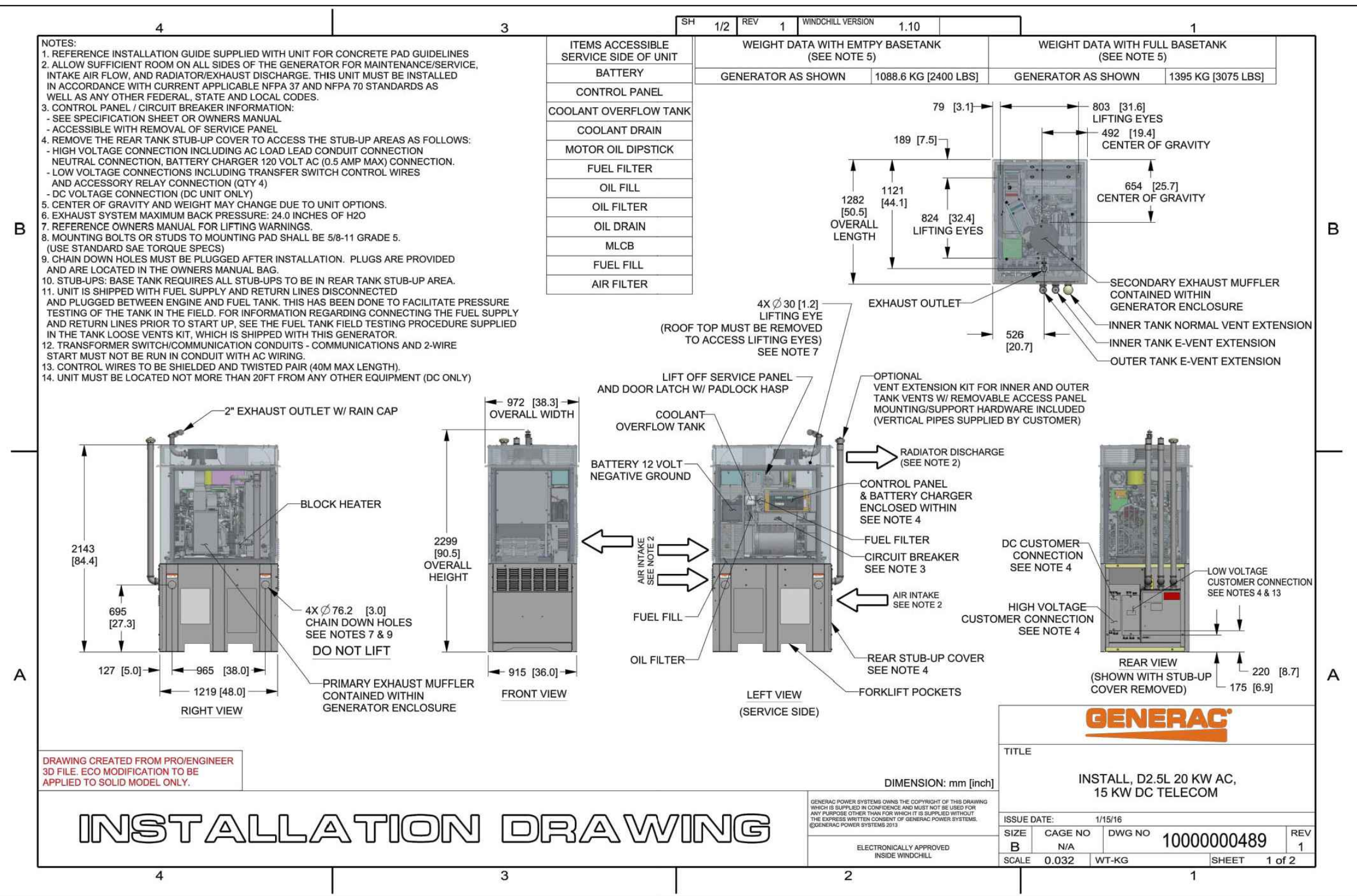
SHEET TITLE:  
**GENERATOR SPECS (1 OF 2)**

SHEET NUMBER:  
 C2.4

- NOTES:
- REFERENCE INSTALLATION GUIDE SUPPLIED WITH UNIT FOR CONCRETE PAD GUIDELINES
  - ALLOW SUFFICIENT ROOM ON ALL SIDES OF THE GENERATOR FOR MAINTENANCE/SERVICE, INTAKE AIR FLOW, AND RADIATOR/EXHAUST DISCHARGE. THIS UNIT MUST BE INSTALLED IN ACCORDANCE WITH CURRENT APPLICABLE NFPA 37 AND NFPA 70 STANDARDS AS WELL AS ANY OTHER FEDERAL, STATE AND LOCAL CODES.
  - CONTROL PANEL / CIRCUIT BREAKER INFORMATION:  
 - SEE SPECIFICATION SHEET OR OWNERS MANUAL  
 - ACCESSIBLE WITH REMOVAL OF SERVICE PANEL
  - REMOVE THE REAR TANK STUB-UP COVER TO ACCESS THE STUB-UP AREAS AS FOLLOWS:  
 - HIGH VOLTAGE CONNECTION INCLUDING AC LOAD LEAD CONDUIT CONNECTION  
 - NEUTRAL CONNECTION, BATTERY CHARGER 120 VOLT AC (0.5 AMP MAX) CONNECTION.  
 - LOW VOLTAGE CONNECTIONS INCLUDING TRANSFER SWITCH CONTROL WIRES AND ACCESSORY RELAY CONNECTION (QTY 4)  
 - DC VOLTAGE CONNECTION (DC UNIT ONLY)
  - CENTER OF GRAVITY AND WEIGHT MAY CHANGE DUE TO UNIT OPTIONS.
  - EXHAUST SYSTEM MAXIMUM BACK PRESSURE: 24.0 INCHES OF H2O
  - REFERENCE OWNERS MANUAL FOR LIFTING WARNINGS.
  - MOUNTING BOLTS OR STUDS TO MOUNTING PAD SHALL BE 5/8-11 GRADE 5. (USE STANDARD SAE TORQUE SPECS)
  - CHAIN DOWN HOLES MUST BE PLUGGED AFTER INSTALLATION. PLUGS ARE PROVIDED AND ARE LOCATED IN THE OWNERS MANUAL BAG.
  - STUB-UPS: BASE TANK REQUIRES ALL STUB-UPS TO BE IN REAR TANK STUB-UP AREA.
  - UNIT IS SHIPPED WITH FUEL SUPPLY AND RETURN LINES DISCONNECTED AND PLUGGED BETWEEN ENGINE AND FUEL TANK. THIS HAS BEEN DONE TO FACILITATE PRESSURE TESTING OF THE TANK IN THE FIELD. FOR INFORMATION REGARDING CONNECTING THE FUEL SUPPLY AND RETURN LINES PRIOR TO START UP, SEE THE FUEL TANK FIELD TESTING PROCEDURE SUPPLIED IN THE TANK LOOSE VENTS KIT, WHICH IS SHIPPED WITH THIS GENERATOR.
  - TRANSFORMER SWITCH/COMMUNICATION CONDUITS - COMMUNICATIONS AND 2-WIRE START MUST NOT BE RUN IN CONDUIT WITH AC WIRING.
  - CONTROL WIRES TO BE SHIELDED AND TWISTED PAIR (40M MAX LENGTH).
  - UNIT MUST BE LOCATED NOT MORE THAN 20FT FROM ANY OTHER EQUIPMENT (DC ONLY)

ITEMS ACCESSIBLE SERVICE SIDE OF UNIT
BATTERY
CONTROL PANEL
COOLANT OVERFLOW TANK
COOLANT DRAIN
MOTOR OIL DIPSTICK
FUEL FILTER
OIL FILL
OIL FILTER
OIL DRAIN
MLCB
FUEL FILL
AIR FILTER

	WEIGHT DATA WITH EMPTY BASE TANK (SEE NOTE 5)		WEIGHT DATA WITH FULL BASE TANK (SEE NOTE 5)	
	GENERATOR AS SHOWN	1088.6 KG [2400 LBS]	GENERATOR AS SHOWN	1395 KG [3075 LBS]



DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

# INSTALLATION DRAWING

**GENERAC**

TITLE  
 INSTALL, D2.5L 20 KW AC, 15 KW DC TELECOM

ISSUE DATE: 1/15/16

SIZE	CAGE NO	DWG NO	REV
B	N/A	10000000489	1

SCALE 0.032 WT-KG SHEET 1 of 2

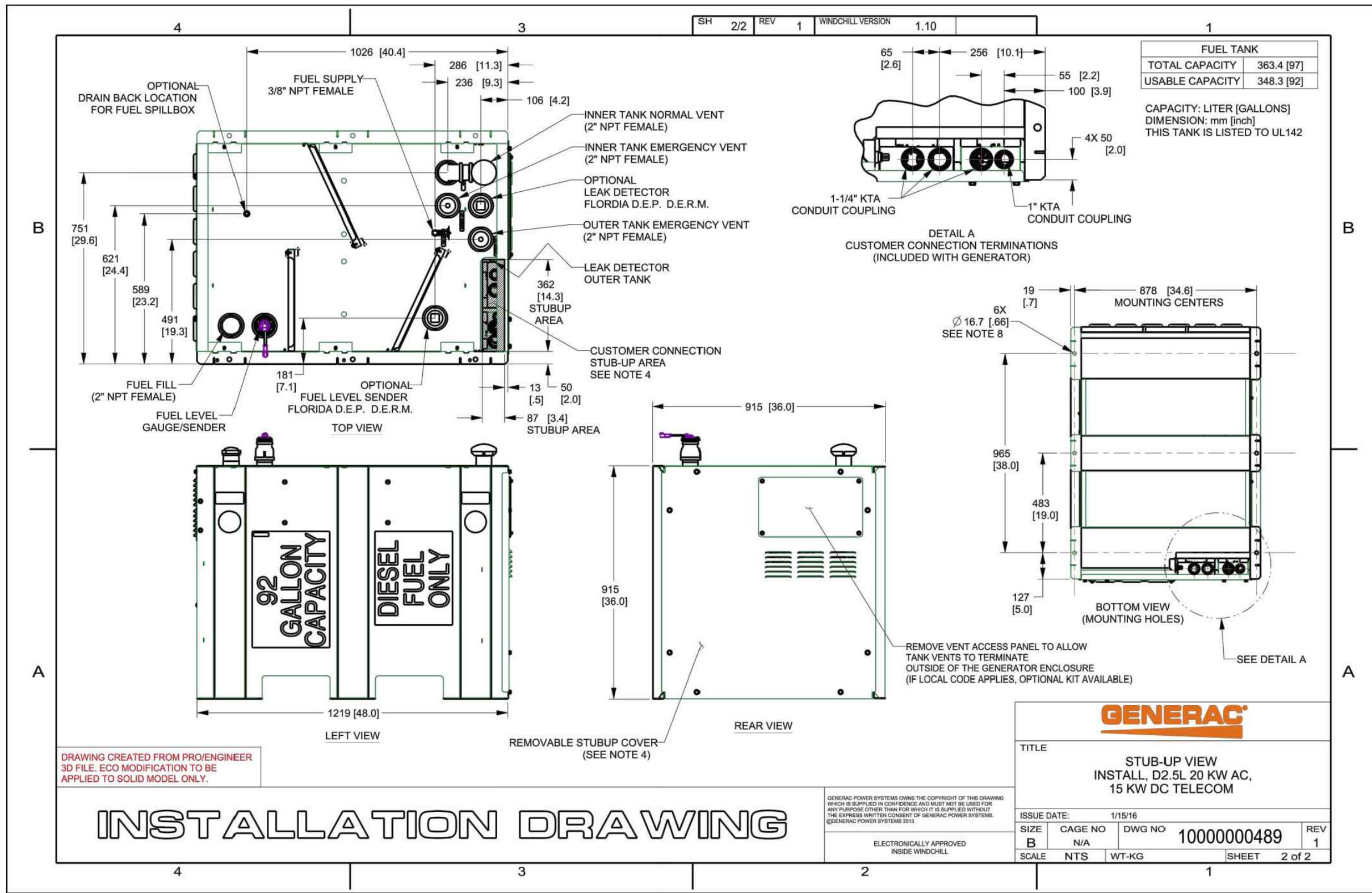
GENERAC POWER SYSTEMS OWNS THE COPYRIGHT OF THIS DRAWING WHICH IS SUPPLIED IN CONFIDENCE AND MUST NOT BE USED FOR ANY PURPOSE OTHER THAN FOR WHICH IT IS SUPPLIED WITHOUT THE EXPRESS WRITTEN CONSENT OF GENERAC POWER SYSTEMS. ©GENERAC POWER SYSTEMS 2013

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PROJECT INFORMATION:  
 SITE NAME:  
 HADDAD  
 330 MACCORKLE AVENUE SE  
 CHARLESTON, WV 25314  
 KANAWHA COUNTY

PLANS PREPARED BY:  
**Kimley»Horn**  
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KHA PROJECT NUMBER:  
 017177028  
 DRAWN BY: DJL CHECKED BY: ALP

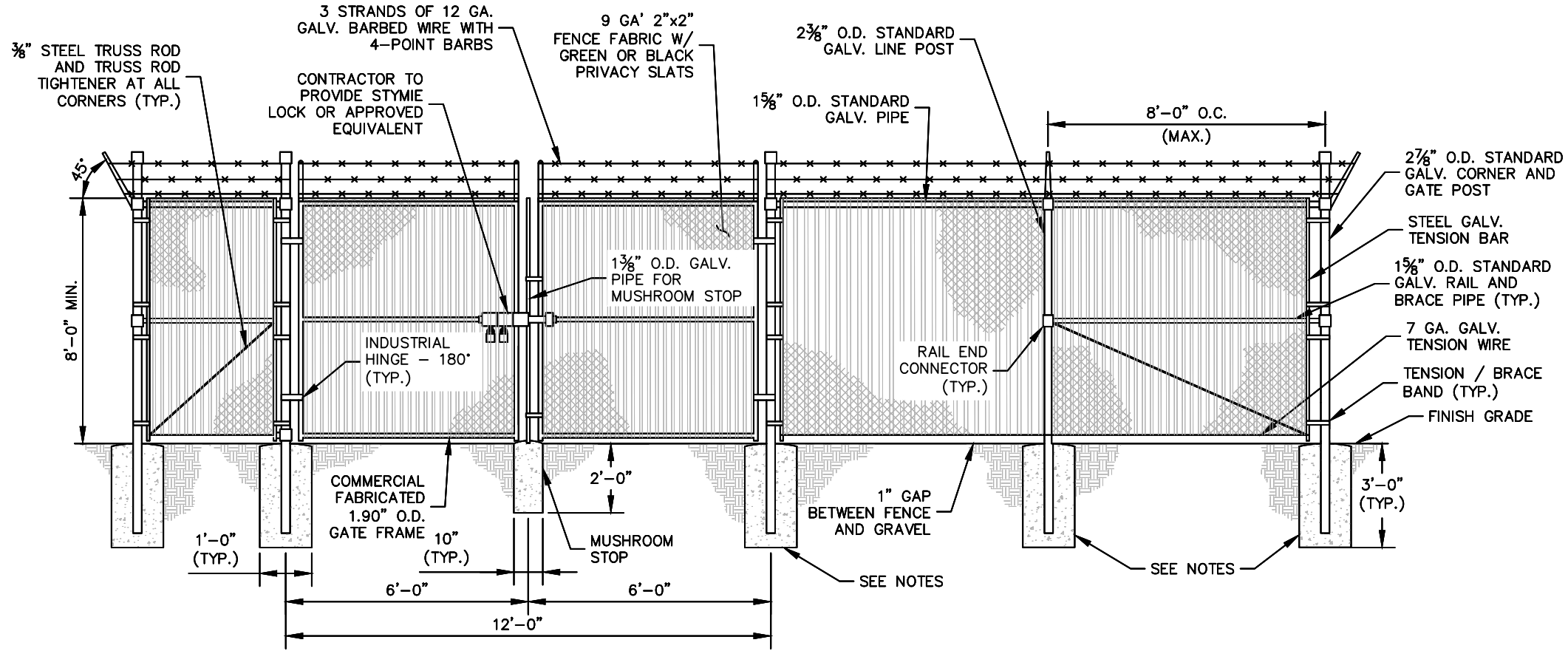
SHEET TITLE:  
**GENERATOR SPECS (2 OF 2)**

SHEET NUMBER:  
 C2.5

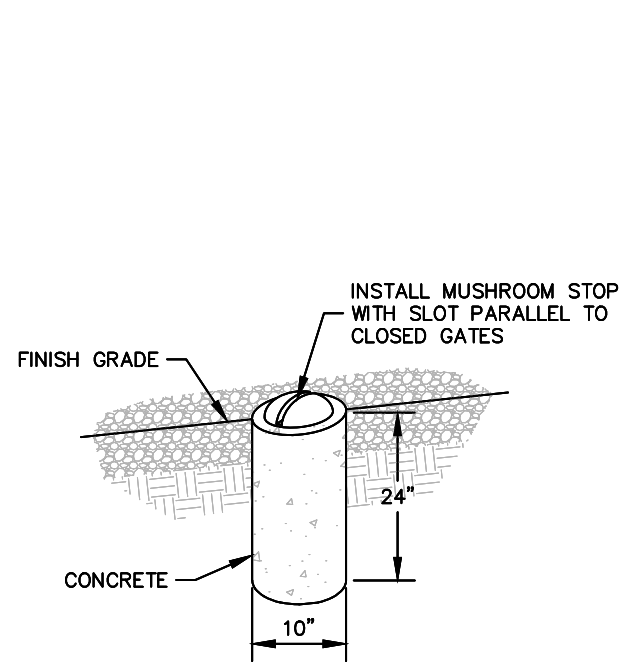
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**FENCE NOTES:**

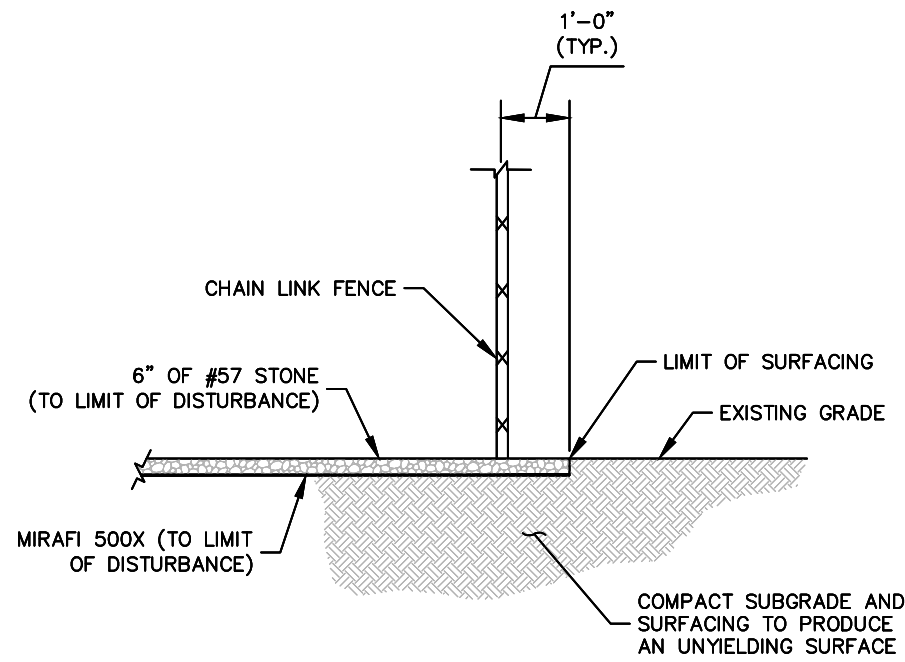
1. USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
2. WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
3. ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
4. CORNERS AND GATEPOSTS FOR CHAIN LINK FENCES SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE.
5. PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES.
6. THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
7. CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES AT THE SPECIFIED OPEN POSITIONS, DRIVEN PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
8. CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.



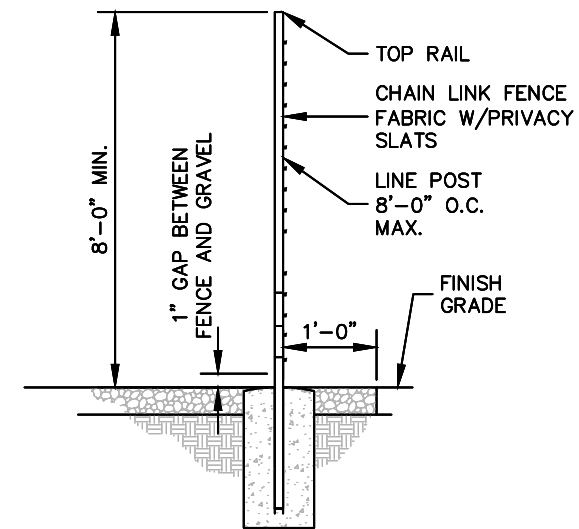
**1** CHAIN LINK FENCE AND GATE ELEVATION  
C3 NOT TO SCALE



**2** MUSHROOM STOP  
C3 NOT TO SCALE



**3** SITE COMPOUND SURFACE DETAIL  
C3 NOT TO SCALE



**4** SECTION AT FENCE  
C3 NOT TO SCALE

**TOWERCOM**

PROJECT INFORMATION:

SITE NAME:  
HADDAD  
330 MACCORKLE AVENUE SE  
CHARLESTON, WV 25314  
KANAWHA COUNTY

PLANS PREPARED BY:

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LICENSER:



KHA PROJECT NUMBER:

017177028

DRAWN BY: CHECKED BY:

DJL ALP

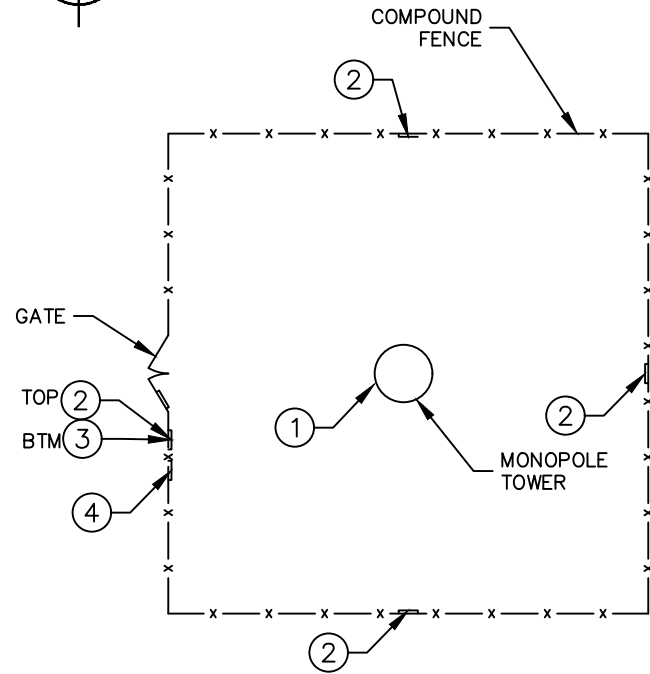
SHEET TITLE:

**FENCE, GATE, AND COMPOUND DETAILS**

SHEET NUMBER:

C3

K:\ATL\_Wireless\TowerCom\Haddad\CAD\ZD\ECar-GB.dwg 01/14/25 1:06 PM by: drew.pitts



NOTE: SEE TYPICAL SIGNS AND SPECIFICATIONS  
DETAIL ON THIS SHEET FOR SIGN DESIGNATIONS.

**1** SIGN PLACEMENT PLAN VIEW  
**C4** NOT TO SCALE



**1** CAUTION SIGN - 12" X 8"  
-PLACED ON TOWER  
-USE A DECAL ON MONOPOLE AND METAL SIGN ON SELF-SUPPORT TOWER OR GUYED TOWER



**3** RF GUIDELINES SIGN - 12" X 8"  
- PLACED ON FENCE

**2** TYPICAL SIGNS AND SPECIFICATIONS  
**C4** NOT TO SCALE



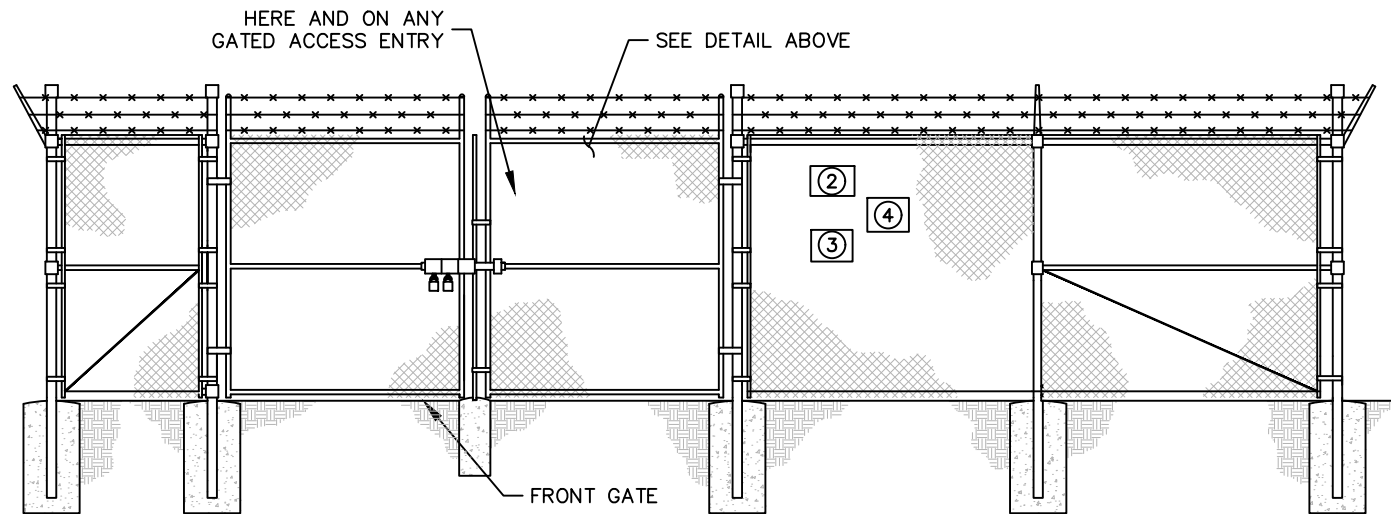
**2** NO TRESPASSING SIGN 12" X 8"  
12" HIGH X 8" WIDE ALUMINUM SIGN W/ 1/4" DRILLED HOLES IN EACH CORNER THICKNESS: 0.05" (1/16") OR CLOSET STANDARD THICKNESS (HUNG ON COMPOUND GATE) (OPERATIONS PROVIDED)

**TOWERCOM**

TOWER SPACE AVAILABLE FOR LEASE

SITE NAME: name here  
FCC NUMBER: number here  
TOWER HEIGHT: --- ft.  
Contact: 904-880-8887

**4** TOWERCOM - SITE ID SIGN 18" X 24"  
18" HIGH X 24" WIDE ALUMINUM SIGN W/ 1/2" DRILL HOLES IN EACH CORNER THICKNESS: 0.05" (1/16") OR CLOSET STANDARD THICKNESS 18" (HUNG ON COMPOUND GATE AND ACCESS ROAD GATE IF APPLICABLE) (OPERATIONS PROVIDED)



**3** SIGN PLACEMENT FRONT GATE VIEW  
**C4** NOT TO SCALE

**SIGNAGE NOTES:**

1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.

**TOWERCOM**

PROJECT INFORMATION:

SITE NAME:  
HADDAD  
330 MACCORKLE AVENUE SE  
CHARLESTON, WV 25314  
KANAWHA COUNTY

PLANS PREPARED BY:

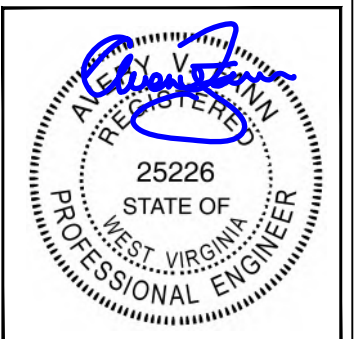
**Kimley»Horn**

11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM  
NC License F-0102

REV: DATE: ISSUED FOR: BY:

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LICENSER:



KHA PROJECT NUMBER:

017177028

DRAWN BY: CHECKED BY:

DJL

ALP

SHEET TITLE:

**SITE SIGNAGE  
DETAILS**

SHEET NUMBER:

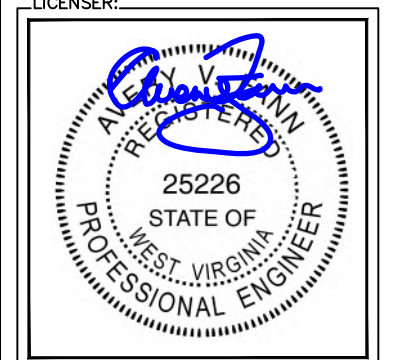
**C4**

PROJECT INFORMATION:  
 SITE NAME:  
 HADDAD  
 330 MACCORKLE AVENUE SE  
 CHARLESTON, WV 25314  
 KANAWHA COUNTY

PLANS PREPARED BY:  
**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM  
 NC License F-0102

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

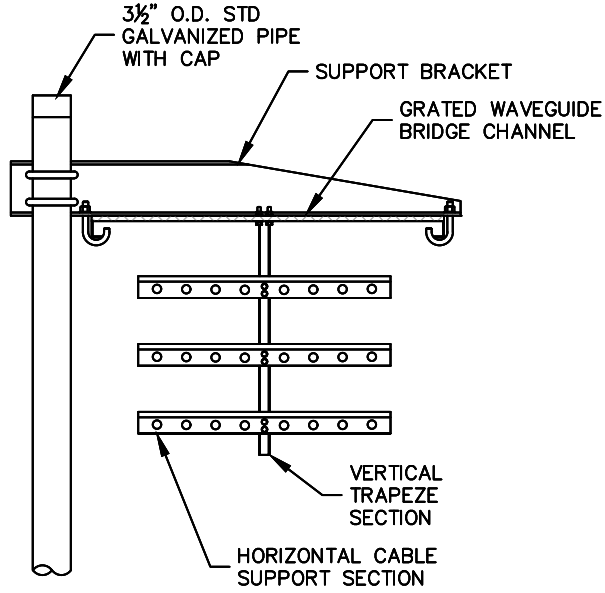
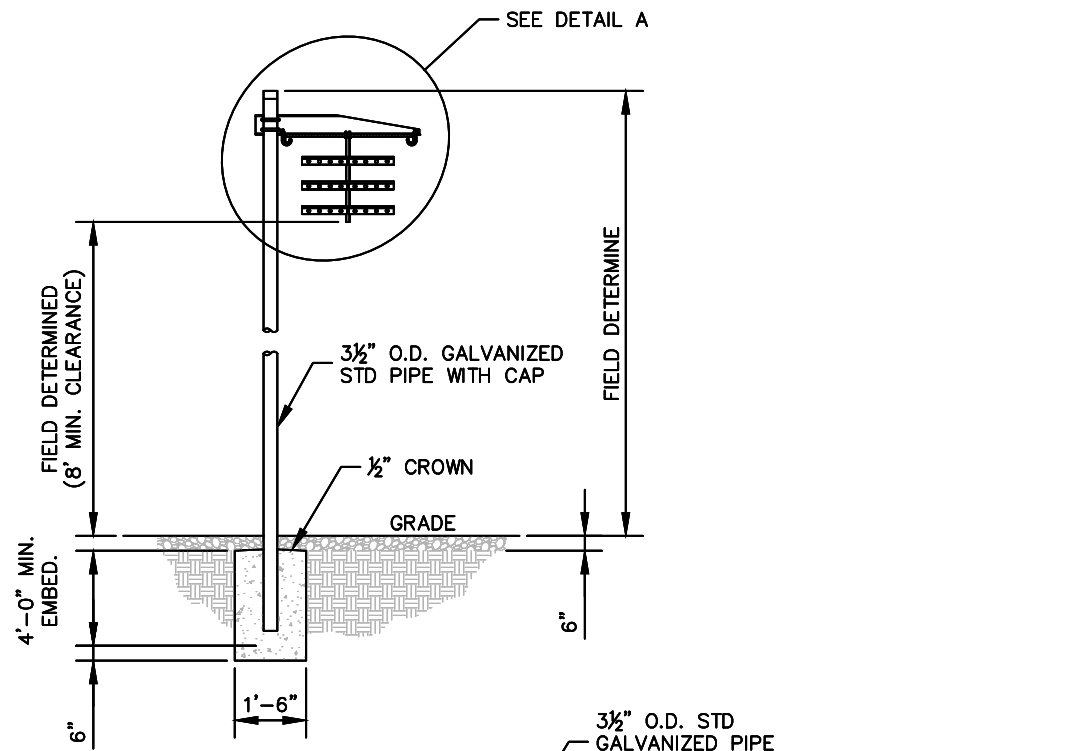
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KHA PROJECT NUMBER:  
 017177028  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 DJL ALP

SHEET TITLE:  
**WAVEGUIDE BRIDGE DETAILS**

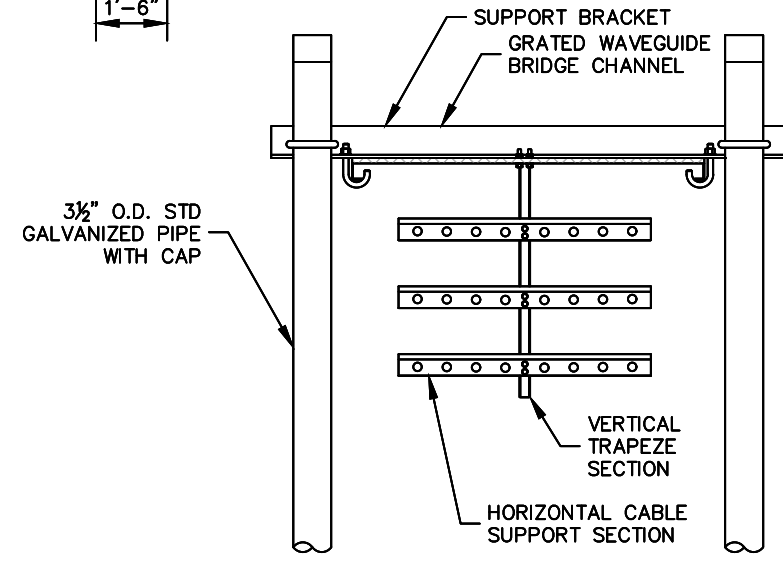
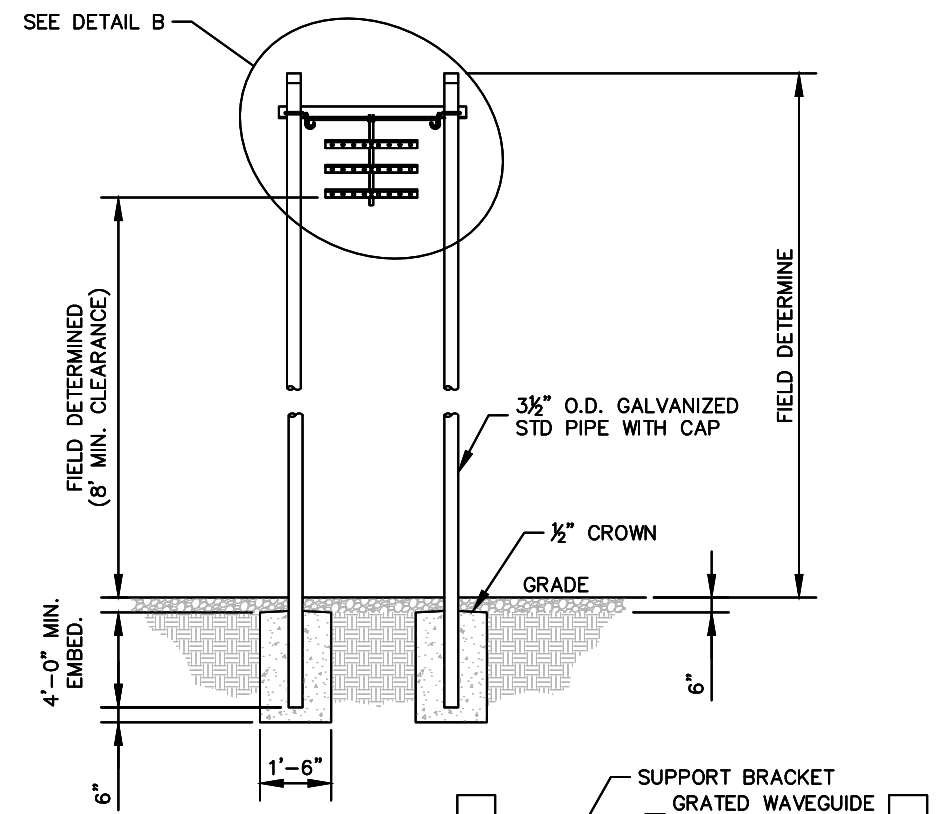
SHEET NUMBER:  
**C5**



**DETAIL A**  
 ANDREW 1 POST WAVEGUIDE BRIDGE KIT (PART #: WB-K210-B15, OR APPROVED EQUIVALENT)

**NOTE:**  
 1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

**1** WAVEGUIDE BRIDGE DETAIL  
 C5 NOT TO SCALE



**DETAIL B**  
 ANDREW 2 POST WAVEGUIDE BRIDGE KIT (PART #: WB-K410-B15, OR APPROVED EQUIVALENT)

**NOTE:**  
 1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

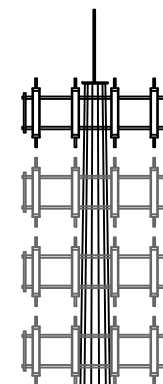
**2** WAVEGUIDE BRIDGE DETAIL (ALT DESIGN - 2 PIPE COLUMNS)  
 C5 NOT TO SCALE

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TOP OF TOWER  
EL. 120' A.G.L.

TOP OF LIGHTNING ROD  
EL. 124' A.G.L.



PROPOSED LESSEE ANTENNAS  
EL. 115' A.G.L.

FUTURE ANTENNAS  
EL. 102' A.G.L.

FUTURE ANTENNAS  
EL. 90' A.G.L.

FUTURE ANTENNAS  
EL. 80' A.G.L.

PROPOSED TOWERCOM IV-B, LLC  
120' MONOPOLE TOWER

PROPOSED TOWERCOM IV-B, LLC  
CHAIN LINK SECURITY FENCE

EXISTING GRADE  
(±0' A.G.L.)

2  
C6

## MONOPOLE TOWER ELEVATION

NOT TO SCALE

NOTES:

1. ALL PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN DRAWINGS BY OTHERS (SEE GENERAL NOTE 1.07, SHEET N1).
2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
3. COAX/FIBER CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
4. PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR.
5. PROPOSED TOWER WILL HAVE NO ILLUMINATION.

**NOTE:**  
REFER TO RFDS PROVIDED BY AT&T. CONTRACTOR TO CONTACT THE TOWERCOM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR THE CONSTRUCTION RFDS.

**NOTES:**  
1. ALL INFORMATION ON THIS PAGE IS PROVIDED BY AT&T WIRELESS AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE TOWERCOM IV-B, LLC CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE INFORMATION.

2. REFER TO STRUCTURAL ANALYSIS BY TOWER OWNER FOR ANALYSIS OF PROPOSED TOWER.

3. IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER APPURTENANCES.

**NOTE:** GENERAL CONTRACTOR TO INSTALL RAYCAP OVP, NUMBER AND TYPE PER AT&T CONSTRUCTION MANAGER.

# TOWERCOM

PROJECT INFORMATION:

SITE NAME:  
HADDAD  
330 MACCORKLE AVENUE SE  
CHARLESTON, WV 25314  
KANAWHA COUNTY

PLANS PREPARED BY:

## Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM  
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0	01/09/25	ZONING	AVF

LICENSER:

FOR ILLUSTRATIVE  
PURPOSES ONLY-  
NO SIGNATURE  
REQUIRED

KHA PROJECT NUMBER:

017177028

DRAWN BY: CHECKED BY:

DJL

ALP

SHEET TITLE:

ANTENNA AND  
TOWER ELEVATION  
DETAILS

SHEET NUMBER:

C6



Existing View





Board of Zoning Appeals

# Application for Conditional Use Permit

CU # \_\_\_\_\_

Hearing Date: March 13, 2025

Applicant Information	Property Information
Name: Capitol City Holdings LLC	Address: 2008 Kanawha Boulevard E, Chas WV 25311
Address: 2008 Kanawha Boulevard E, Chas WV 25311	Tax Map and Parcel: 20-11-0028-0188-0000. Part Lot 8 Upper Rufner Addition
Phone: 304-908-4444	Zoning District: R-O
Agent Name, Address and Phone Number: (if other than applicant)  Michael Husson, Managing Partner 304-908-4444	Property Owner and Mailing Address: (if other than applicant)  N/A

**IMPORTANT:** This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301. The following items must accompany this application: 1) a site plan drawn to scale; 2) a list of the owners, with their mailing addresses, of the properties within a 250 foot radius of the property for which the variance is being sought; 3) \$125.00 filing fee in the form of a check or money order made payable to the City of Charleston. You are also encouraged to submit any additional information, including photographs, elevations, testimonials or other documentation, which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions. THE PLANNING DEPARTMENT WILL NOT ACCEPT ANY INCOMPLETE APPLICATIONS.

Please describe the proposed use. Include information such as the activities to be conducted on the site, hours these activities will be conducted, and any other data pertinent to the proposed use. If the proposed use is a business, please attach a list of the officers and their contact information. \_\_\_\_\_  
 I would like to lease the office space in the building as an Art Gallery to native Charlestonian Artist D. Todd McCormick \_\_\_\_\_  
 The gallery will operate during normal business hours primarily by appointment with the artist or single staff member. \_\_\_\_\_  
 Primary displays for viewing and/or purchase will be will be professional photography, mixed media artwork and original designs. \_\_\_\_\_  
 This is a light traffic, zero noise, low parking load operation that will enhance the neighborhood near the state cultural center. \_\_\_\_\_  
 Contact Info and Product Examples can be seen below at the artists web site. \_\_\_\_\_  
 Artist/Proprietor D. Todd McCormick 646-620-5535 and todd@todd-mccormick.com. WEBSITE. wwwTodd-McCormick.com \_\_\_\_\_

Applicable Section(s) of the Zoning Ordinance Conditional Use approval

Does the proposed use comply with the conditions set forth in the Zoning Ordinance? Yes with Conditional Approval  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please describe any proposed work to be done on the property. No additional work is required  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If your request for a conditional use permit is granted, how will others in the area be affected? \_\_\_\_\_  
There will be ZERO negative impact to the area. No heavy traffic, no heavy parking load and no noise - ONLY positive cultural artistic/cultural influence.

Conversly, other usses that would not require additional perfits would likely generate more traffic, parking and employee loads.

Will your request devalue the property of others in the vicinity by altering land use characteristics or diminishing the marketable value of adjacent land and structures or increasing congestion on public streets? \_\_\_\_\_

Absolutely no negative impact to property values , traffic or quality of life. Only positive impact of a new business and art influence

Is your request consistent with the purposes and intent of the Zoning Ordinance of the City of Charleston? Yes

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

Signature

Michael Husson for Capitol City Holdings LLC

1-30-2025

Date

**Planning Department Use Only**

The following is a list of related cases:

The following is a list of zoning ordinance violations, building code violations and enforcement actions relating to the subject property:

Application reviewed by:

Action:  Approved  Rejected

If approved, were there any specific conditions or limitations imposed by the BZA?

Planning Official Signature and Title

Date