



Charleston Board of Zoning Appeals

AGENDA

8:30 a.m., Thursday, December 12, 2024

City Service Center Conference Room · 915 Quarrier Street

I. Items for Review

VAR-24-3047

Application of Minnie Leonard requesting a variance of the accessory structure requirements in order to install a storage building on the property located at **124 Wertz Avenue**.

VAR-24-3048

Application of Stephanie Clarke Requesting rear setback and parking variances in order to construct an addition and establish a professional office on the property located at **2406 Kanawha Blvd East**.

CUP-24-0249

Application of Christopher Roush requesting a conditional use permit in order to construct an indoor self-storage facility on the property located at **927 Oakhurst Drive**.

II. Approval of minutes for the November 14 hearings.

 Board of Zoning Appeals
Application for Variance

BZA # _____

Hearing Date: _____

Applicant Information	Property Information
Name: <u>Minnie Leonard</u>	Address: <u>124 Wertz Ave Chas. WV</u>
Address: <u>125 Wertz Avenue Chas. WV</u>	Tax Map and Parcel:
Phone: <u>304-610-2961</u>	Zoning District:
Agent Name, Address and Phone Number: (if other than applicant)	Property Owner and Mailing Address: (if other than applicant)

INSTRUCTIONS: This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301. The following items must accompany this application:

1. a site plan drawn to scale;
2. a list of the owners, with their mailing addresses, of the properties within a 100 foot radius of the property for which the variance is being sought; and
3. \$125.00 filing fee in the form of cash, personal check or money order made payable to the City of Charleston.

You are also encouraged to submit any additional information, including photographs, elevations, testimonials or other documentation which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions.

THE PLANNING DEPARTMENT WILL NOT ACCEPT INCOMPLETE APPLICATIONS.

A variance is a method by which a property owner receives permission to vary from the development standards established in the Zoning Ordinance governing such matters as building location, building dimensions, setback requirements, placement and quantity of parking, landscaping, signage, and other features included in site design. **Please describe your variance request.** to put shed 12' x 32'

Applicable Section(s) of the Zoning Ordinance _____

Please describe the proposed work to be done on the property. to put shed on it

IMPORTANT: According to Section 8A of the Code of the State of West Virginia and Section 29-040 of the City of Charleston's Zoning Ordinance, the Board of Zoning Appeals may grant a variance if and only if **ALL** of the following four criteria can be satisfied:

- 1.) The variance, if granted, will not adversely affect the public health, safety and welfare or the rights of adjacent property owners or residents; and,
- 2.) The variance arises from special conditions or attributes which pertain to the property for which a variance is being sought and which were not created by the person or entity seeking the variance; and,
- 3.) The variance, if granted, would eliminate an unnecessary hardship and permit a reasonable use of the land; and,
- 4.) The variance, if granted, will allow the intent of the Zoning Ordinance to be observed and substantial justice done.

1.) If granted, your variance must not adversely affect the public health, safety and welfare or the rights of adjacent property owners or residents. For example, public safety cannot be compromised by limiting access for emergency vehicles, and neighboring property owners must not be hindered in the use their properties in any manner permitted in the Zoning Ordinance. If your variance request is granted, how will others in the area be affected? not affected

2.) Your request must arise from special conditions or attributes which pertain to the subject property and which you did not create. The size, shape and topography of your lot are examples of the physical conditions which may satisfy this criterion. In comparison with other properties in the vicinity and under the same zoning regulations, what is unusual or different about the subject property? pie shape lot w/limited space for dev.

3.) **An unnecessary hardship is neither personal nor financial in nature.** In this application, an unnecessary hardship is a problem created by some feature of the land which prevents the owner from making reasonable use of the property as permitted by the Zoning Ordinance. The following three questions help to determine if there is an unnecessary hardship with regard to your property.

Without a variance, are you deprived of all beneficial use of your land? _____

Is your situation due to unique circumstances that are not shared by other land in the district? lot is shape different from other lots in the neighborhood

Would approval of your variance request alter the essential character of the surrounding neighborhood or community? NO

4.) The general purpose and intent of the Zoning Ordinance of the City of Charleston is to protect and promote the public health, safety, convenience, morals and general welfare. For more specific information in regard to the scope and intent of the Zoning Ordinance, please see Section 1-020 as well as the section from which you are requesting this variance. Will approval of the variance allow the intent of the Zoning Ordinance to be observed?

Substantial justice is the idea that a standard of fairness has been satisfied according to the substance of the law. Does your variance request represent the least deviation from the Zoning Ordinance necessary to achieve an outcome that is fair to both you and to your community? _____

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

Minnie Leonard
Signature

Nov. 9, 2024
Date

Planning Department Use Only	
The following is a list of related cases:	
The following is a list of zoning ordinance violations, building code violations and enforcement actions relating to the subject property:	
Application reviewed by:	
Action: ☐ Approved ☐ Rejected	
If approved, were there any specific conditions or limitations imposed by the BZA?	
Planning Official Signature and Title	Date

124 Weitz Avenue, Charleston, W X
Show search results for 124 Weitz Av...



Weitz Ave

1119

1121

1123

1125

1127

1,797,504 940 487, 103,292 Feet

City of Charleston, West Virginia, Esri, Inc | GIS Department



All rights reserved



Board of Zoning Appeals
Application for Variance

BZA # _____

Hearing Date: _____

Applicant Information	Property Information
Name: <u>Stephanie Clarke</u>	Address: <u>2406 Kanawha Blvd. E Charleston, WV 25311</u>
Address: <u>5 Brittany Woods Charleston, WV 25314</u>	Tax Map and Parcel: <u>1129206</u>
Phone: <u>304-546-4640</u>	Zoning District: <u>R-10</u>
Agent Name, Address and Phone Number: (if other than applicant)	Property Owner and Mailing Address: (if other than applicant) <u>Closing December 2024</u>

INSTRUCTIONS: This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301. The following items must accompany this application:

1. a site plan drawn to scale;
2. a list of the owners, with their mailing addresses, of the properties within a 100 foot radius of the property for which the variance is being sought; and
3. \$125.00 filing fee in the form of cash, personal check or money order made payable to the City of Charleston.

You are also encouraged to submit any additional information, including photographs, elevations, testimonials or other documentation which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions.

THE PLANNING DEPARTMENT WILL NOT ACCEPT INCOMPLETE APPLICATIONS.

A variance is a method by which a property owner receives permission to vary from the development standards established in the Zoning Ordinance governing such matters as building location, building dimensions, setback requirements, placement and quantity of parking, landscaping, signage, and other features included in site design. Please describe your variance request.

Existing sunroom and garage are currently built to rear property line. These structures are unusable and structurally unsafe. We are planning to demolish these structures & are asking to rebuild a new rear addition that is 5 feet from property line.

Applicable Section(s) of the Zoning Ordinance Article 8: R10 mixed use neighborhood district.

Please describe the proposed work to be done on the property. Sunroom in the back of the house and back patio are not able to be repaired. We would like to add handicap accessible offices. The addition would be rebuilding the sunroom and adding offices up to 5 feet of the property line. The garage is unsafe it's necessary to demo the garage for safety reasons. The garage is already near the property line.

IMPORTANT: According to Section 8A of the Code of the State of West Virginia and Section 29-040 of the City of Charleston's Zoning Ordinance, the Board of Zoning Appeals may grant a variance if and only if **ALL** of the following four criteria can be satisfied:

- 1.) The variance, if granted, will not adversely affect the public health, safety and welfare or the rights of adjacent property owners or residents; and,
- 2.) The variance arises from special conditions or attributes which pertain to the property for which a variance is being sought and which were not created by the person or entity seeking the variance; and,
- 3.) The variance, if granted, would eliminate an unnecessary hardship and permit a reasonable use of the land; and,
- 4.) The variance, if granted, will allow the intent of the Zoning Ordinance to be observed and substantial justice done.

1.) If granted, your variance must not adversely affect the public health, safety and welfare or the rights of adjacent property owners or residents. For example, public safety cannot be compromised by limiting access for emergency vehicles, and neighboring property owners must not be hindered in the use their properties in any manner permitted in the Zoning Ordinance. If your variance request is granted, how will others in the area be affected?

Changes made will be less visible to neighbors of adjacent property.

2.) Your request must arise from special conditions or attributes which pertain to the subject property and which you did not create. The size, shape and topography of your lot are examples of the physical conditions which may satisfy this criterion. In comparison with other properties in the vicinity and under the same zoning regulations, what is unusual or different about the subject property?

The property has been vacant for many years. With the variance being granted the property will increase wheelchair accessibility therapy offices and parking.

3.) An unnecessary hardship is neither personal nor financial in nature. In this application, an unnecessary hardship is a problem created by some feature of the land which prevents the owner from making reasonable use of the property as permitted by the Zoning Ordinance. The following three questions help to determine if there is an unnecessary hardship with regard to your property.

Without a variance, are you deprived of all beneficial use of your land? Yes, without the variance we won't have full use of the office or parking to function.

Is your situation due to unique circumstances that are not shared by other land in the district? Most houses have structures back to the property line.

Would approval of your variance request alter the essential character of the surrounding neighborhood or community?

No, it's behind the building. The variance would keep the addition behind the building and unseen from the front of the house. This variance would not change what is currently existing.

4.) The general purpose and intent of the Zoning Ordinance of the City of Charleston is to protect and promote the public health, safety, convenience, morals and general welfare. For more specific information in regard to the scope and intent of the Zoning Ordinance, please see Section 1-020 as well as the section from which you are requesting this variance. Will approval of the variance allow the intent of the Zoning Ordinance to be observed?

Yes, allowing this variance to occur will not change what is currently existing and will help foster the growth of the property, neighborhood & community.

Substantial justice is the idea that a standard of fairness has been satisfied according to the substance of the law. Does your variance request represent the least deviation from the Zoning Ordinance necessary to achieve an outcome that is fair to both you and to your community?

Yes, we are requesting to be able to utilize the space that is currently existing.

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

Stephanie K Clarke
Signature

11/6/24
Date

Planning Department Use Only

The following is a list of related cases:

The following is a list of zoning ordinance violations, building code violations and enforcement actions relating to the subject property:

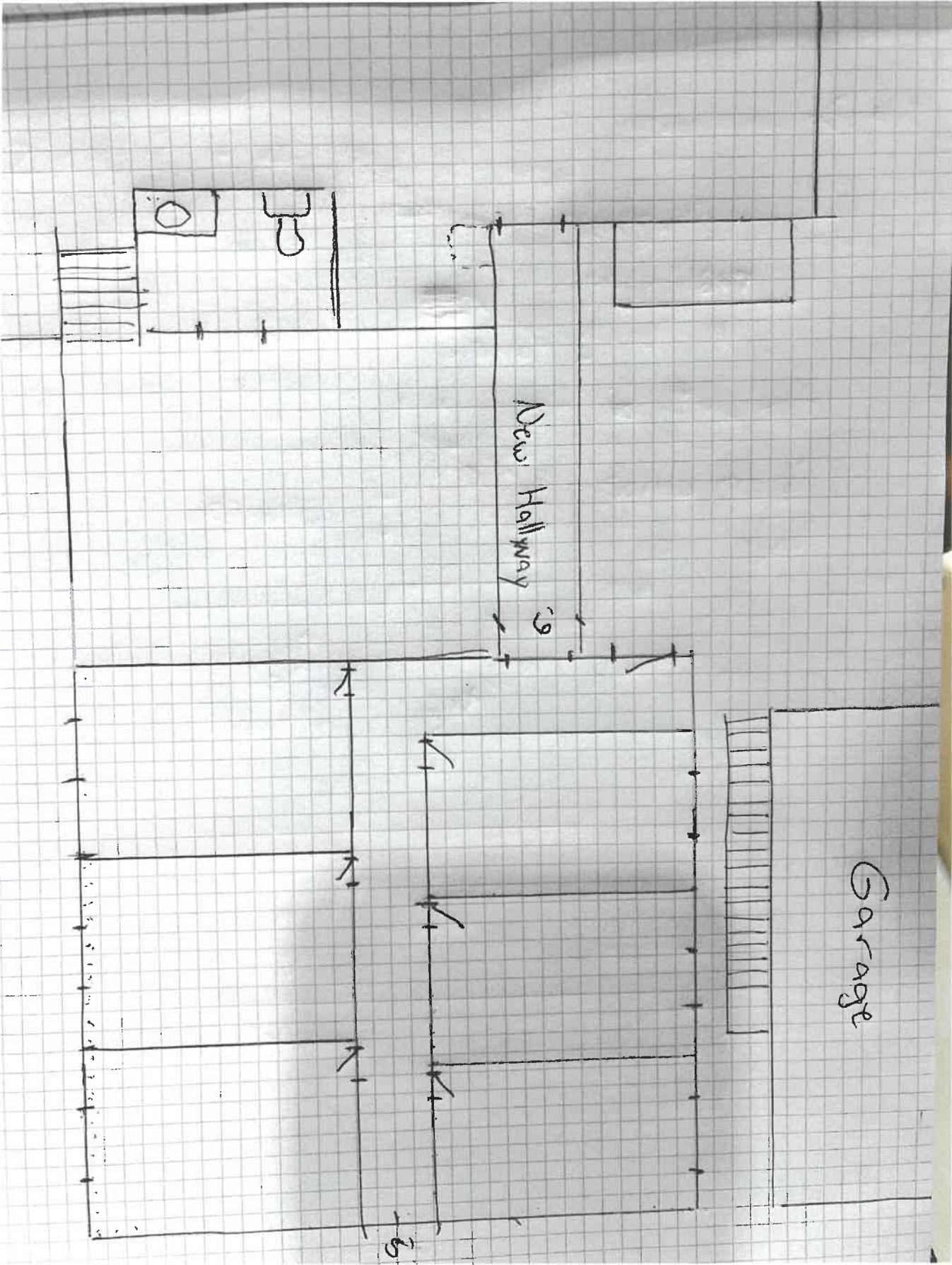
Application reviewed by:

Action: ☐ Approved ☐ Rejected

If approved, were there any specific conditions or limitations imposed by the BZA?

Planning Official Signature and Title

Date



Neighbors within 100 ft radius

GEORGE N HOWARD

Address:

2408 KANAWHA BLVD
Charleston, WV 25311

BUNTING SHIRLEY ANN & DAVID ALEXANDER

Address:

2402 E KANAWHA BLVD
Charleston, WV 25311

SHORT CAROLYN L & ROBERT D

Address:

2405 WASHINGTON ST
Charleston, WV 25311

D'AMICO IRENE T O D

Address:

2407 WASHINGTON ST
Charleston, WV 25311

Board of Zoning Appeals
Application for Variance

BZA # _____

Hearing Date: _____

Applicant Information	Property Information
Name: <u>Stephanie Clarke</u>	Address: <u>2406 Kanawha Blvd East Charleston WV 25311</u>
Address: <u>5 Brittany Woods Charleston WV 25314</u>	Tax Map and Parcel: <u>1129206</u>
Phone: <u>304-546-4640</u>	Zoning District: <u>R-10</u>
Agent Name, Address and Phone Number: (if other than applicant)	Property Owner and Mailing Address: (if other than applicant) <u>Closing December 2, 2024</u>

INSTRUCTIONS: This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301. The following items must accompany this application:

1. a site plan drawn to scale;
2. a list of the owners, with their mailing addresses, of the properties within a 100 foot radius of the property for which the variance is being sought; and
3. \$125.00 filing fee in the form of cash, personal check or money order made payable to the City of Charleston.

You are also encouraged to submit any additional information, including photographs, elevations, testimonials or other documentation which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions.

THE PLANNING DEPARTMENT WILL NOT ACCEPT INCOMPLETE APPLICATIONS.

A variance is a method by which a property owner receives permission to vary from the development standards established in the Zoning Ordinance governing such matters as building location, building dimensions, setback requirements, placement and quantity of parking, landscaping, signage, and other features included in site design. Please describe your variance request. I am requesting a parking variance due to quantity.

Applicable Section(s) of the Zoning Ordinance Article 8 R10 mixed use neighborhood district

Please describe the proposed work to be done on the property. We plan to add a parking lot on the property and will not meet the 600 psf = 1 space rule. We plan to have 10-12 spaces. Current plan for useable square footage is 3,108-75.

IMPORTANT: According to Section 8A of the Code of the State of West Virginia and Section 29-040 of the City of Charleston's Zoning Ordinance, the Board of Zoning Appeals may grant a variance if and only if **ALL** of the following four criteria can be satisfied:

- 1.) The variance, if granted, will not adversely affect the public health, safety and welfare or the rights of adjacent property owners or residents; and,
- 2.) The variance arises from special conditions or attributes which pertain to the property for which a variance is being sought and which were not created by the person or entity seeking the variance; and,
- 3.) The variance, if granted, would eliminate an unnecessary hardship and permit a reasonable use of the land; and,
- 4.) The variance, if granted, will allow the intent of the Zoning Ordinance to be observed and substantial justice done.

1.) If granted, your variance must not adversely affect the public health, safety and welfare or the rights of adjacent property owners or residents. For example, public safety cannot be compromised by limiting access for emergency vehicles, and neighboring property owners must not be hindered in the use their properties in any manner permitted in the Zoning Ordinance. If your variance request is granted, how will others in the area be affected? No affect on neighbors.

2.) Your request must arise from special conditions or attributes which pertain to the subject property and which you did not create. The size, shape and topography of your lot are examples of the physical conditions which may satisfy this criterion. In comparison with other properties in the vicinity and under the same zoning regulations, what is unusual or different about the subject property? The subject property was originally designed as residential without parking infrastructure for professional use. Our plan is to preserve and convert the subject property to professional office use and provide as much parking as possible within the existing constraints of the site.

3.) **An unnecessary hardship is neither personal nor financial in nature.** In this application, an unnecessary hardship is a problem created by some feature of the land which prevents the owner from making reasonable use of the property as permitted by the Zoning Ordinance. The following three questions help to determine if there is an unnecessary hardship with regard to your property.

Without a variance, are you deprived of all beneficial use of your land? Yes, adding offices wouldn't be possible without parking variance. Without variance the project isn't viable.

Is your situation due to unique circumstances that are not shared by other land in the district? The subject property is bound on all three sides by existing structures not allowing for possible expansion of parking.

Would approval of your variance request alter the essential character of the surrounding neighborhood or community? no

4.) The general purpose and intent of the Zoning Ordinance of the City of Charleston is to protect and promote the public health, safety, convenience, morals and general welfare. For more specific information in regard to the scope and intent of the Zoning Ordinance, please see Section 1-020 as well as the section from which you are requesting this variance. Will approval of the variance allow the intent of the Zoning Ordinance to be observed?

Yes, the variance will allow the subject property to be preserved and converted from residential use to professional office while retaining the residential character of the neighborhood.

Substantial justice is the idea that a standard of fairness has been satisfied according to the substance of the law. Does your variance request represent the least deviation from the Zoning Ordinance necessary to achieve an outcome that is fair to both you and to your community? Yes

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

Stephen X Clarke
Signature

11/12/24
Date

Planning Department Use Only

The following is a list of related cases:

The following is a list of zoning ordinance violations, building code violations and enforcement actions relating to the subject property:

Application reviewed by:

Action: ☐ Approved ☐ Rejected

If approved, were there any specific conditions or limitations imposed by the BZA?

Planning Official Signature and Title

Date

September 26, 2024



To whom it may concern,

On September 11, 2024 my company performed an inspection on 2406 Kanawha Blvd E, Charleston, WV. During that inspection, the outbuilding adjacent to the above referenced address was also evaluated. The outbuilding showed various concerns, including but not limited to a hazardous electrical system, inoperable plumbing system, roof leakage, damaged steps, damaged doors, damaged windows and various damage to the exterior and interior. In its current condition, the building is a safety concern and removing the building may be more cost-effective.

If you need more clarification on this matter, please don't hesitate to call.

Thank You,

A handwritten signature in black ink, appearing to read "Matthew Barnes", is written over a faint, larger version of the same signature.

Matthew Barnes

HI7674221-02153
304-767-4221



ZONING DISTRICT: R-10 MIXED USE NEIGHBORHOOD DISTRICT
LAND USE: NON-RESIDENTIAL

MINIMUM SETBACKS

- MINIMUM SETBACKS**
- | | |
|---------------|--------------------|
| 1. FRONT: | 15 FT |
| 2. REAR: | 20 FT |
| 3. SIDE: | 5 FT |
| 4. ACCESSORY: | 3 FT REAR AND SIDE |

PARKING

PARKING
1. MEDICAL/DENTAL OFFICE: 1 PER 200 SF

MOSAIC WELLNESS

2406 KANAWHA BLVD E
CHARLESTON, WV 25311

PRELIMINARY

PROPOSED NEW CONSTRUCTION

Project number	Project Number
Date	11/06/2021
Drawn by	R. J. ...
Checked by	R. J. ...

A1.00

Scale	As indicated
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Board of Zoning Appeals

Application for Conditional Use Permit



CU # _____

Hearing Date: _____

Applicant Information	Property Information
Name: Christopher Roush	Address: 927 Oakhurst Dr, Charleston, WV 25314
Address: 106 Broadway Street, Suite 3, P.O Box 473 Racine, OH 45771	Tax Map and Parcel: M11-P11.5
Phone: 740-992-0059	Zoning District: C-8
Agent Name, Address and Phone Number: (if other than applicant)	Property Owner and Mailing Address: (if other than applicant) RSS 927 OAKHURST DRIVE LLC P.O. Box 473 Racine, OH 45771

IMPORTANT: This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301. The following items must accompany this application: 1) a site plan drawn to scale; 2) a list of the owners, with their mailing addresses, of the properties within a 250 foot radius of the property for which the variance is being sought; 3) \$125.00 filing fee in the form of a check or money order made payable to the City of Charleston. You are also encouraged to submit any additional information, including photographs, elevations, testimonials or other documentation, which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions. THE PLANNING DEPARTMENT WILL NOT ACCEPT ANY INCOMPLETE APPLICATIONS.

Please describe the proposed use. Include information such as the activities to be conducted on the site, hours these activities will be conducted, and any other data pertinent to the proposed use. If the proposed use is a business, please attach a list of the officers and their contact information. _____

The proposed use is indoor self storage. This building will be the same as the the two that are existing on the neighboring parcel, thus having the same operations. This being self storage, customers can scan in at their will.

Applicable Section(s) of the Zoning Ordinance Land Use Table, 11-061

Does the proposed use comply with the conditions set forth in the Zoning Ordinance? _____

The proposed use is does comply with zoning code conditionally. The proposed structures will be on a separate parcel from the two existing structures on the site thus, complying with Section 11-050.D in the zoning code (30000sf limit).

Please describe any proposed work to be done on the property. _____

Excavation pertaining to the construction of the dual-level indoor self-storage buildings, utilities installation, stormwater tie in, concrete paving, and drives.

If your request for a conditional use permit is granted, how will others in the area be affected? _____
Since the parcel is already being used as self-storage, the neighboring parcels will not experience any additional effects from the addition of the proposed structures.

Will your request devalue the property of others in the vicinity by altering land use characteristics or diminishing the marketable value of adjacent land and structures or increasing congestion on public streets? _____
The proposed structures will not diminish the value of the adjacent properties, as the neighboring parcel is already being used as self-storage. The traffic will likely not increase with the addition of the proposed structure.

Is your request consistent with the purposes and intent of the Zoning Ordinance of the City of Charleston? _____
This request is consistent with the purposes and intent of the Zoning Ordinance of the City of Charleston.

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

Bryce Swatzel
Signature

11/07/24
Date

Planning Department Use Only	
The following is a list of related cases:	
The following is a list of zoning ordinance violations, building code violations and enforcement actions relating to the subject property:	
Application reviewed by:	
Action: ☐ Approved ☐ Rejected	
If approved, were there any specific conditions or limitations imposed by the BZA?	
Planning Official Signature and Title	
Date	

A. GOVERNING SPECIFICATIONS

1. THE GOVERNING SPECIFICATIONS FOR THE PROJECT ARE THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, STANDARD SPECIFICATIONS ROADS AND BRIDGES, ADOPTED 2017 (FROM HERE ON REFERRED TO AS WVDOT) IN CONJUNCTION WITH THE WEST VIRGINIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (WVDEP) STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, CURRENT GUIDELINES ESTABLISHED BY THE AMERICANS WITH DISABILITIES ACT, PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROWAG), DATED JULY 26, 2011, ADA STANDARDS FOR ACCESSIBLE DESIGN, SATED SEPTEMBER, 15, 2010, MANUAL OF RULES AND REGULATIONS FOR CONSTRUCTING DRIVEWAYS ON STATE RIGHT OF WAY, CHARLESTON UTILITY BOARD DIRECTIVES, UTILITY COMPANY REQUIREMENTS, AND THE FOLLOWING MANUALS, LATEST EDITION: WVDOT TRAFFIC CONTROL FOR STREET AND HIGHWAY CONSTRUCTIONS AND MAINTENANCE OPERATIONS, WVDOT STANDARD DETAILS BOOK VOLUMES I AND II, WVDOT ACCOMMODATION OF UTILITIES ON HIGHWAY RIGHT OF WAY, WVDOT MANUAL ON RULES AND REGULATIONS FOR CONSTRUCTING DRIVEWAYS ON STATE HIGHWAY RIGHTS-OF-WAY, WVDOT TYPICAL SECTIONS AND RELATED DETAILS, AND THE WVDOT EROSION AND SEDIMENT CONTROL MANUAL. THE CONTRACT DOCUMENTS ARE THE GOVERNING PROVISIONS APPLICABLE TO THE PROJECT.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE GOVERNING AUTHORITIES HAVING JURISDICTION INCLUDING ALL APPLICABLE CODES, SPECIFICATIONS, STANDARDS, AND GUIDELINES ADOPTED BY SUCH AUTHORITIES.
3. DISCREPANCIES BETWEEN THE PLANS AND VARIOUS CODES, STANDARDS, SPECIFICATIONS, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR REMEDIATION.
4. THE CONTRACT DOCUMENTS SHALL SUPPLEMENT AND AMEND THE GOVERNING SPECIFICATIONS/OTHER REFERENCED SPECIFICATIONS AND SHALL RULE IN CASE OF CONFLICT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER ACQUIRE REFERENCE SPECIFICATIONS OR CONTACT THE ENGINEER CONCERNING HOW TO ACQUIRE SUCH SPECIFICATIONS.

B. PERMITS

1. ALL OUTSTANDING FEDERAL, STATE, AND LOCAL PERMITS ASSOCIATED WITH THE PROJECT SHALL BE OBTAINED. THE COST OF ALL PERMITS SHALL BE INCIDENTAL TO THE PROJECT BID.
2. PROPER PERMIT DOCUMENTATION SHALL BE KEPT ON SITE AT ALL TIMES AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RESPECTIVE PERMITS. ALL PERMIT CONDITIONS SHALL PROPERLY COMPLETED (E.G. INSPECTION SCHEDULING).
3. ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
4. THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING PERMIT APPLICATIONS TO THE DEVELOPER/CONTRACTOR, PROVIDING ENGINEERING DATA REQUIRED BY THE PERMIT, AND PROVIDING LIMITED ASSISTANCE WITH APPLICATION COMPLETION. DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE FOR AUTHORITY COORDINATION, COMPLETION OF PERMIT APPLICATIONS, AND PERMIT ACQUISITIONS.

C. INSPECTIONS, SAMPLING, AND TESTING

1. ALL INSPECTIONS, SAMPLING, AND TESTING OF WORK ITEMS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
- EXCAVATION, EMBANKMENT, SOIL COMPACTION, SUBGRADE PREPARATION, BACKFILL, AGGREGATE BASE, CONCRETE, AND ASPHALT SHALL BE IN ACCORDANCE WITH THE WVDOT STANDARD SPECIFICATIONS, PROJECT SOILS REPORT, MANUFACTURER SPECIFICATIONS, Aci 301/318, THE PROJECT DOCUMENTS, AND AUTHORITIES HAVING JURISDICTION REQUIREMENTS. INSPECTION, SAMPLING, AND TESTING SHALL BE PERFORMED BY AN INDEPENDENT, CERTIFIED TESTING AGENCY APPROVED BY THE DEVELOPER AND EMPLOYED BY THE CONTRACTOR. ALL RESULTS SHALL BE PROMPTLY REPORTED TO THE ENGINEER. THE DEVELOPER, AT THEIR EXPENSE, MAY ALSO RETAIN A QUALIFIED PROFESSIONAL TO PERFORM INDEPENDENT QUALITY CONTROL/ASSURANCE CHECKS ON THE CONTRACTOR'S WORK. WHERE QC/QA REQUIREMENT CONFLICTS EXIST, PROJECT MANUAL REQUIREMENTS SHALL RULE. WHERE DOH SPECIFICATIONS APPLY, THE CONTRACTOR SHALL PERFORM DUTIES ASCRIBED TO THE "CONTRACTOR" WITH THE DEVELOPER RESERVING THE OPTION TO PERFORM DUTIES SIMILAR OR DIFFERENT TO THOSE ASCRIBED TO THE "DIVISION".

D. MISCELLANEOUS

1. THE INFORMATION SHOWN ON THESE DRAWINGS IS BASED UPON EXISTING DRAWINGS, THE TOPOGRAPHIC SURVEY, MISS UTILITY FIELD MARKS INDICATING THE LOCATION OF BURIED UTILITIES (WITH NO DEPTHS GIVEN), APPRIMATE DEPTH INFORMATION PROVIDED BY UTILITY COMPANIES, AND DEVELOPER-PROVIDED INFORMATION.
2. ALL ADJACENT STRUCTURES AND UTILITY SERVICES SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ALL EXISTING FEATURES (E.G. CURBS, TREES, BUSHES, PAVING, ETC.) DAMAGED BY CONSTRUCTION SHALL BE RESTORED TO A CONDITION SATISFACTORY TO THE DEVELOPER.
3. ALL PHASES OF WORK SHALL BE SUBJECT TO INSPECTION, TESTING AND ACCEPTANCE BY ENGINEER AND/OR DEVELOPER.
4. A SAFE AND ORDERLY WORKSITE SHALL BE MAINTAINED AT ALL TIMES.
5. THE LOADING/UNLOADING AND HAULING OF ALL MATERIALS TO AND FROM THE CONSTRUCTION SITE SHALL BE INCLUDED.
6. ALL CONSTRUCTION WORK RELATED TO THESE DRAWINGS SHALL BE COORDINATED WITH THE DEVELOPER AND OTHER CONTRACTORS THAT MAY BE INVOLVED WITH THE PROJECT.
7. ALL NECESSARY BARRICADEING AND FLAGGING SHALL BE PROVIDED IN ORDER TO PROTECT THE SAFETY OF THE WORKERS AND THE GENERAL PUBLIC. TRAFFIC INTERRUPTIONS SHALL BE MINIMIZED AND COORDINATED WITH THE CITY OF CHARLESTON AND THE WVDOT.

E. WASTE MATERIAL

1. ALL MATERIAL REMOVED AND NOT REUSED IN THE CONSTRUCTION OF THIS PROJECT SHALL BE REMOVED FROM THE PROJECT AND PROPERLY DISPOSED IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITIES.

F. BENCH MARKS

1. BENCH MARK LOCATIONS SHALL BE HELD/PROTECTED THROUGHOUT THE LIFE OF THE PROJECT. IN THE EVENT A BENCH MARK IS DISTURBED, THE BENCH MARK SHALL BE RELOCATED OR REESTABLISHED AS DIRECTED BY THE ENGINEER. NO ADDITIONAL PAYMENT OR COMPENSATION WILL BE MADE FOR THIS WORK. BENCH MARK NORTHINGS, EASTINGS, ELEVATIONS, AND DESCRIPTIONS SHALL BE REFERENCED ON DRAWING NUMBER C100. THE COORDINATE GRID IS BASED ON THE SURVEY NORTH ARROW SHOWN ON THE PLAN.

G. ACCESS

1. SAFE ACCESS SHALL BE PROVIDED AT ALL TIMES TO THE RESIDENTS AND BUSINESSES AFFECTED BY CONSTRUCTION. ALL ACCESS SHALL BE IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). ALL TRAFFIC FLOW DISTURBANCES SHALL BE MINIMIZED. ALL DISTURBANCES MUST BE ACCOMPLISHED SAFELY AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

H. VERIFICATIONS

1. ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

I. UTILITIES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. ALL EXISTING UTILITIES WITHIN THE WORK AREA SHALL BE FIELD VERIFIED. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING UTILITIES INCLUDING, BUT NOT LIMITED TO, PROVIDING PROTECTIVE MEASURES DURING CONSTRUCTION. CORRECTION OF ANY DAMAGE TO UTILITIES SHALL BE MADE AT NO ADDITIONAL COST TO THE DEVELOPER.
2. UNLESS NOTED OTHERWISE, UTILITY DEPTHS THAT COULD POSE CONFLICTS WITH CONSTRUCTION SHALL BE FIELD LOCATED PRIOR TO COMMENCEMENT OF CONSTRUCTION. DEPTHS SHALL BE RECORDED AND SUBMITTED TO THE ENGINEER FOR POSSIBLE RELOCATION/MODIFICATION DETERMINATION. ALL WORK ASSOCIATED WITH THE RELOCATION OF THESE QUESTIONABLE UTILITIES SHALL BE AS DIRECTED BY THE DEVELOPER (CHANGE ORDER AT TIME OF CONSTRUCTION). ALL ACTIVITIES, TIMING, AND DURATION OF THE UTILITY RELOCATIONS SHALL BE COORDINATED WITH THE DEVELOPER AND THE UTILITY COMPANY INVOLVED.
3. UTILITY LINES PLACED UNDER DRIVES AND PARKING LOTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE TRENCH DETAIL FROM THE WVDOT TYPICAL SECTIONS AND RELATED DETAILS PUBLICATION. BACKFILL FOR UTILITY LINES PLACED UNDER CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH TYPE B TRENCH. TYPE B AND D TRENCHES SHALL BE REFERENCED FOR UTILITY LINES PLACED UNDER EXISTING PAVEMENT.
4. PIPE, CONDUIT, JOINTS, FITTINGS, TYPICAL TRENCH SECTIONS, ETC. SHALL BE IN ACCORDANCE WITH THE RESPECTIVE UTILITY PROVIDER'S SPECIFICATIONS AND REQUIREMENTS.

J. FINAL CLEAN-UP

1. ALL PROPERTY, BOTH PUBLIC AND PRIVATE, WHICH HAS BEEN DAMAGED DURING THE EXECUTION OF THE WORK SHALL BE RESTORED IN AN ACCEPTABLE MANNER. THE SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION.
2. ALL WORK MUST MEET THE ENGINEER'S AND DEVELOPER'S APPROVAL.

K. CLEARING AND GRUBBING

1. ALL AREA WITHIN THE CONSTRUCTION LIMITS SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH ITEM 201001-000. ALL TOPSOIL SHALL BE REMOVED IN ACCORDANCE WITH ITEM 207001-001. STUMPS, ROOTS, AND OTHER VEGETATION SHALL BE DISCARDED AND ALL REMAINING TOPSOIL STOCKPILED FOR USE IN FINISHED GRADING/SEEDING AND MULCHING.

L. REMOVING DRAINAGE STRUCTURES

1. ANY EXISTING DRAINAGE STRUCTURES, HEADWALLS, AND PIPES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE COST OF THE REMOVAL OF EXISTING PIPES, INLETS, AND HEADWALLS SHALL BE INCIDENTAL TO THE PROJECT AND SHALL INCLUDE REMOVAL, CAPPING, DISPOSAL, AND BACKFILL WITH SUITABLE MATERIAL. NO ADDITIONAL PAYMENT OR MEASUREMENT WILL BE MADE FOR THIS WORK.

M. DRAINAGE

1. WORKING STORM DRAINAGE SYSTEMS THROUGHOUT THE WORK AREAS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. THE WORKING SYSTEM MAY CONSIST OF THE EXISTING STORM DRAINAGE SYSTEM, THE PROPOSED STORM DRAINAGE SYSTEM, OR A COMBINATION THEREOF. THE SITE SHALL BE GRADED TO DRAIN AND BE MAINTAINED FREE OF PONDING AT ALL TIMES. TEMPORARY DRAINS, SUMPS, PORTABLE PUMPING EQUIPMENT, ETC. SHALL BE UTILIZED AS REQUIRED. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND NOT ALTER EXISTING DRAINAGE CONDITIONS WITH RESPECT TO NEIGHBORING AND DOWNSTREAM PROPERTIES.
2. ALL PIPES TO REMAIN SHALL BE CONNECTED TO THE DRAINAGE SYSTEM OR HAVE POSITIVE OUTLET. ALL DRAINAGE OUTLET STRUCTURES SHALL BE FIELD ADJUSTED AS REQUIRED TO MATCH THE EXISTING GROUND AS DIRECTED BY THE ENGINEER. ALL EXISTING DRAINAGE FACILITIES SHALL BE FIELD VERIFIED.
3. THE COST OF ALL MATERIALS AND WORK NECESSARY FOR THE INSTALLATION OF CATCH BASINS, PIPE, ETC. SHALL BE INCIDENTAL TO THE PROJECT. ALL WORK ASSOCIATED WITH PLACEMENT OF STORM PIPE (E.G. TRENCHING, BEDDING, BACKFILL, ETC.) SHALL BE IN ACCORDANCE WITH WVDOT 604 AND THE STANDARD DETAILS BOOK. ALL PIPE LOCATED UNDER PAVEMENT/EXISTING PAVEMENT SHALL BE BACKFILLED/CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE TRENCH DETAIL FROM THE WVDOT TYPICAL SECTIONS AND RELATED DETAILS PUBLICATION.

N. TEMP. SEDIMENT AND EROSION CONTROL AND STORM WATER POLLUTION PREVENTION PLAN

1. ALL TEMPORARY AND PERMANENT SEDIMENT AND EROSION CONTROL AND STORM WATER POLLUTION PREVENTION ACTIVITIES SHALL BE PROVIDED AS REQUIRED. THE COST OF FURNISHING AND INSTALLING ALL MATERIALS NECESSARY FOR THE WORK SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. ALL STATE AND FEDERAL REGULATIONS, INCLUDING THE WVDEP STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE WVDOT EROSION AND SEDIMENT CONTROL MANUAL AND WVDOT 642/652, SHALL BE OBSERVED. IN THE EVENT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE ORDERED BY THE ENGINEER DUE TO THE CONTRACTOR'S NEGLIGENCE, CARELESSNESS, OR FAILURE TO INSTALL REQUIRED CONTROLS AS PART OF THE WORK SCHEDULE, SUCH WORK SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE DEVELOPER. WHERE APPLICABLE, THE CONDITIONS OF THE NPDES CONSTRUCTION STORM WATER GENERAL PERMIT SHALL BE MAINTAINED DURING ALL STAGES OF CONSTRUCTION. THE LOCATION AND TIMING OF ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE FIELD ADJUSTED TO PREVENT SIGNIFICANT IMPACTS ON RECEIVING WATERS. IMPLEMENTATION OF THIS STORM WATER POLLUTION PREVENTION PLAN SHALL CONTINUE THROUGHOUT THE DURATION OF THE PROJECT OR UNTIL SUCH TIME THAT THE UPSLOPE DISTURBED AREAS ARE STABILIZED. ALL REASONABLE ATTEMPTS SHOULD BE MADE TO MINIMIZE THE TOTAL AREA OF DISTURBED LAND. ALL AREAS THAT ARE TO REMAIN DORMANT FOR MORE THAN 14 DAYS, BUT LESS THAN 1 YEAR, SHALL BE STABILIZED WITH ITEM 642004-001, SEED MIXTURE, TEMPORARY WITHIN 4 DAYS OF THE MOST RECENT DISTURBANCE. AREAS THAT ARE TO REMAIN DORMANT FOR MORE THAN 1 YEAR SHALL BE STABILIZED WITH PERMANENT SEEDING AND MULCHING WITHIN 4 DAYS OF THE MOST RECENT DISTURBANCE. AREAS WITHIN 50 FEET OF A STREAM SHALL BE STABILIZED WITHIN 2 DAYS. MEASURES SHALL BE MAINTAINED/REPLACED AS REQUIRED.

ALL DISTURBED AREAS OVER 50 FEET AWAY FROM A STREAM THAT ARE TO REMAIN DORMANT FOR MORE THAN 14 DAYS, BUT LESS THAN 1 YEAR, SHALL BE STABILIZED WITH ITEM 207, CONSTRUCTION SEEDING AND MULCHING, WITHIN 4 DAYS OF THE MOST RECENT DISTURBANCE. OTHER SUCH AREAS THAT ARE TO REMAIN DORMANT FOR MORE THAN 1 YEAR SHALL BE STABILIZED WITH PERMANENT SEEDING AND MULCHING WITHIN 4 DAYS OF THE MOST RECENT DISTURBANCE. AREAS WITHIN 50 FEET OF A STREAM SHALL BE STABILIZED WITHIN 2 DAYS. MEASURES SHALL BE MAINTAINED/REPLACED AS REQUIRED.

SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED WITHIN 4 DAYS OF GRUBBING FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.

O. WORK STOPPAGE

1. ANY WORK STOPPAGE INCURRED DUE TO THE CONTRACTOR'S NEGLIGENCE OR FAILURE TO COMPLY WITH A MITIGATION ITEM SHALL BE REMEDIED AT NO COST TO THE DEVELOPER. SEDIMENT AND EROSION CONTROL FEATURES SHALL BE OPERATED AND MAINTAINED IN AN ACCEPTABLE CONDITION.
2. WHEN ANY EROSION OR SEDIMENT CONTROL FEATURE HAS REACHED HALF ITS CAPACITY, THE DEVICE SHALL BE CLEANED OUT AND RESTORED TO ITS ORIGINAL CONDITION.
4. A SPILL PREVENTION, CONTROL, AND COUNTERMEASURES (SPCC) PLAN THAT ITEMIZES SPECIFIC MEASURES THAT WILL BE IMPLEMENTED TO PREVENT AND CLEAN UP CHEMICAL AND PETROLEUM PRODUCT SPILLS THAT MAY OCCUR DURING ALL PHASES OF PROJECT CONSTRUCTION SHALL BE PREPARED. FUEL STORAGE AND REFUELING ACTIVITIES, EQUIPMENT MAINTENANCE ACTIVITIES, AND EQUIPMENT WASHING SHALL BE KEPT AT LEAST 500 FEET AWAY FROM ANY PERENNIAL OR INTERMITTENT WATERCOURSE OR WETLAND.

P. SEEDING, FERTILIZING, AND MULCHING

1. UNLESS NOTED OTHERWISE, ALL DISTURBED SOIL AREAS ARE TO BE SEEDDED, FERTILIZED, AND MULCHED. SEEDING, FERTILIZING, AND MULCHING WILL BE AS SPECIFIED IN WVDOT 652. AREAS 3:1 OR FLATTER SHALL RECEIVE A TYPE C-2 MIXTURE (DEVELOPER-APPROVED LAWN MIX). AREAS STEEPER THAN 3:1 SHALL RECEIVE A TYPE L MIXTURE. DISTURBED AREAS OVER 50 FEET AWAY FROM A STREAM SHALL BE SEEDDED AND MULCHED WITHIN 4 DAYS OF REACHING FINAL GRADE. OTHER SUCH AREAS SHALL BE SEEDDED AND MULCHED WITHIN 2 DAYS OF REACHING FINAL GRADE. TESTING WILL NOT BE REQUIRED ON THESE ITEMS PURCHASED FROM A REPUTABLE DEALER. ALL DAMAGES TO PREVIOUSLY SEEDED AREAS SHALL BE REPAIRED.

Q. TREE REMOVAL

1. ALL TREES NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OFF-SITE. TREES SHALL BE SUBSTANTIALLY REMOVED IN THEIR ENTIRETY IN ACCORDANCE WITH ITEM 201001-000 AND STRUCTURALLY BACKFILLED WITH SUITABLE MATERIAL. ALL WORK SHALL BE INCIDENTAL TO THE PROJECT.

R. PAVEMENT MARKINGS AND SIGNAGE

1. PARKING LOT STALL MARKINGS, CHANNELIZATION LINES, AND HANDICAP SYMBOLS SHALL BE PAINTED IN ACCORDANCE WITH WVDOT 663. HANDICAP SYMBOLS AND SIGNAGE SHALL BE IN ACCORDANCE WITH WVDOT AND 28 CFR REGULATIONS.
2. ADA ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. THE ADA VAN ACCESSIBLE SPACE SHALL HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. FEDERAL CODE OF REGULATIONS 28 CFR PART 36 APPENDIX A 4.6.4. SHALL BE REFERENCED FOR ADDITIONAL INFORMATION.

S. DEMOLITION

1. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN AN APPROVED LANDFILL.

T. EARTHWORK

1. SOIL DESIGNATED AS UNSUITABLE (E.G. TOPSOIL) SHALL BY NO MEANS BE USED AS FILL MATERIAL. ALL EXCAVATION AND EMBANKMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WVDOT 207/211/228, THE PROJECT SOILS REPORT, AND THE PROJECT DOCUMENTS. ALL EARTHWORK SHALL ALSO BE IN DIRECT ACCORDANCE WITH OSHA REQUIREMENTS. TEMPORARY SHORING, TRENCH BOXES, SUMP PUMPS, BORING/JACKING, UNDERPINNING, TIEBACKS, ETC. SHALL BE DESIGNED BY CONTRACTOR AND USED DURING CONSTRUCTION AS REQUIRED.

2. THE CERTIFIED TESTING AGENCY SHALL VERIFY ALL SUBGRADES HAVE BEEN COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM DRY DENSITY (OBTAINED IN ACCORDANCE WITH ASTM STANDARD METHOD D-698), ARE NOT FROZEN, HAVE ALLOWABLE BEARING CAPACITIES OF NO LESS THAN 1500 PSF, AND ARE NEAR OPTIMUM MOISTURE CONTENT (+2%/-3%). IF REQUIRED, THE AGENCY'S GEOTECHNICAL ENGINEER SHALL ALSO RECOMMEND THE LIMITS OF ADDITIONAL EXCAVATION. ALL SUBGRADES SHALL BE INSPECTED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO PLACEMENT OF EMBANKMENT, AGGREGATE, CONCRETE, ASPHALT, ETC. THE UPPER 12" OF SUBGRADE SOILS DIRECTLY BELOW PAVEMENT BASE STONE SHALL HAVE 100% COMPACTION. IF UNSUITABLE MATERIAL IS FOUND AT THE DRAWING SUBGRADE DEPTHS, ADDITIONAL EXCAVATION SHALL BE REQUIRED UNTIL SUITABLE BASES ARE ENCOUNTERED. ADDITIONAL EXCAVATIONS ARE TO BE BACKFILLED WITH PROPERLY COMPACTED ENGINEERED (CONTROLLED) FILL OR AGGREGATE BASE MATERIAL. THE AGGREGATE BASE SHALL BE ITEM 307001-000 AND BE PLACED ON A SUBGRADE PROPERLY PREPARED IN ACCORDANCE WITH WVDOT 307. UNLESS NOTED OTHERWISE, AGGREGATE BASE SHALL BE PLACED IN MAXIMUM 6" COMPACTED DEPTH LIFTS AND COMPACTED TO AT LEAST 100% PER ASTM D-698 AT OPTIMUM MOISTURE CONTENT. ALTERNATE METHODS AND MATERIALS CORRESPONDING TO SUBGRADE PREPARATION MAY BE REQUIRED DURING CONSTRUCTION. ALTERNATE METHODS MUST BE APPROVED BY THE ENGINEER.
3. THE BID SUM SHALL INCLUDE ALL EARTHWORK AS REQUIRED TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE PROJECT DOCUMENTS. THE UNIT COSTS FOR EARTHWORK (SUBMITTED WITH THE BID FORM) SHALL BE USED TO ADJUST THE CONTRACT SUM BY BEING APPLIED TO SUBSTANTIAL ADDITIONS/DEDUCTIONS IN EXCAVATION/EMBANKMENT RESULTING FROM SCOPE CHANGES AND/OR EXTREME LIMIT DIRECTIVES ORDERED BY THE INSPECTING GEOTECHNICAL ENGINEER AND APPROVED BY THE ENGINEER.
4. EXCESS EXCAVATION NOT REUSED ON SITE SHALL BE RELOCATED AND SPOILED OFF SITE. SPOILS SHALL ONLY BE KEPT ON SITE WHEN SO SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER. SPOILS AREAS SHALL BE PROPERLY SCALPED, BENCHED, AND CONSTRUCTED UNLESS NOTED OTHERWISE. COMPACT IN ACCORDANCE WITH OTHER SITE STRUCTURAL EMBANKMENTS. TOPSOIL AND OTHER UNSUITABLE MATERIAL SHALL BE USED FOR FINISHED GRADING ONLY. SPOILS AREAS SHALL BE SEEDDED IN ACCORDANCE WITH THE PROJECT DOCUMENTS.
5. CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR TOE KEY CONSTRUCTION REQUIREMENTS, BONDING BENCH REQUIREMENTS, AND HORIZONTAL SUBSURFACE DRAINAGE INSTALLATION.

U. PAVEMENT SUBGRADE

1. TOPSOIL, ORGANIC MATERIAL, AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED TO THE SUBGRADE DEPTH AT A MINIMUM. ALL EXCAVATION, EMBANKMENT, SUBGRADE PREPARATION, AND AGGREGATE BASE CONSTRUCTION SHALL BE IN ACCORDANCE WITH WVDOT 207/211/228/307, PROJECT SOILS REPORT, AND THE PROJECT DOCUMENTS. THE DEVELOPER HOLDS THE RIGHT TO REQUEST ALL UNSUITABLE SOIL BE STOCKPILED ON SITE OR DISPOSED OF OFF-SITE BY THE CONTRACTOR. THE SUBGRADE SHALL BE INSPECTED PRIOR TO PLACEMENT OF AGGREGATE BASE AND THE UPPER 6" VERIFIED TO CONSIST OF SUITABLE SOIL FREE OF PARTICLES LARGER THAN 3" AND HAVE BEEN COMPACTED TO AT LEAST 100% OF THE MATERIAL'S MAXIMUM DRY DENSITY (OBTAINED IN ACCORDANCE WITH ASTM STANDARD METHOD D-698). UNSUITABLE MATERIAL ENCOUNTERED AT THE SUBGRADE DEPTH SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR AGGREGATE BASE AS REQUIRED TO OBTAIN THE PROPER SUBGRADE PREPARATION.

V. CONCRETE

1. ALL CONCRETE AND REINFORCEMENT SHALL BE IN ACCORDANCE WITH EACH ITEM'S RESPECTIVE WVDOT STANDARD SPECIFICATION SECTION. OTHERWISE, CONCRETE SHALL BE MODIFIED CLASS B WITH A 28 DAY STRENGTH OF 4000 PSI, REINFORCING STEEL SHALL BE DEFORMED AND CONFORM TO ASTM A-615 GRADE 60 OR ASTM A-497 GRADE 60. CONCRETE SURFACES SHALL BE LEVEL/SLOPED AS INDICATED AND FINISHED/EDGED PER WVDOT 501.12, AND CONCRETE SHALL BE MOIST CURED PER WVDOT 501.14 (MEMBRANE CURING COMPOUND MUST BE APPROVED).
2. WHERE NOTED, EXPANSION JOINT MATERIAL AND JOINT SEALANTS SHALL BE IN ACCORDANCE WITH THE APPROPRIATE WVDOT STANDARD SPECIFICATION SECTION.
3. ISOLATION JOINT TREATMENT:
- USE A PREFORMED EXPANSION JOINT MATERIAL (WVDOT 708.1 OR APPROVED EQUAL) TREATED WITH WAX (OR EQUIVALENT BOND-BREAKER). OUTER FACE OF JOINT MATERIAL TO BE 1/2" FROM SURFACE OF CONCRETE OR MASONRY (1" FOR PAVEMENT) WITH THE SPACE SEALED WITH FLEXIBLE JOINT SEALER (VERTICAL JT. & 1/2" RETURN: SIKAFLEX 10; HORIZONTAL JT.: SIKAFLEX 1CSL (OR APPROVED EQUAL)). ALL SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

W. SIDEWALK AND CURB

1. MINIMUM SIDEWALK WIDTH AT ANY OBSTRUCTION SHALL BE 3.00'. SIDEWALK MODIFICATIONS REQUIRED TO MEET THIS MINIMUM WIDTH MUST BE APPROVED BY THE ENGINEER.
2. MATCH EXISTING CURB AND SIDEWALK WITH SMOOTH TRANSITIONS AT TIE-INS.
3. WHERE REQUIRED, TERMINATE CURB WITH STANDARD CURB TAPER (CLASS 1/II).
4. TRANSVERSE CONTRACTION JOINTS SHALL BE PLACED IN THE SIDEWALK AT 5' INTERVALS (3/8" DEEP X 1/8" WIDE).
5. TRANSVERSE CONTRACTION JOINTS SHALL BE PLACED IN THE CURB AT 10' INTERVALS (1" DEEP X 1/8" WIDE) AND FILLED WITH JOINT SEALING MATERIAL (WVDOT 708.3). WVDOT 610.3 SHALL BE REFERENCED FOR ADDITIONAL INFORMATION RELATING TO INTEGRAL CONCRETE CURB.
6. UNLESS SHOWN OTHERWISE, SIDEWALK AND CURB SHALL BE SEPARATED IN THE LONGITUDINAL DIRECTION BY 1/4" PREFORMED EXPANSION JOINT MATERIAL (WVDOT 708.1). OUTER FACE OF JOINT MATERIAL SHALL BE 1/2" FROM SURFACE AND THE SPACE SEALED WITH JOINT SEALING MATERIAL (SIKAFLEX 1CSL).
7. SIDEWALK AND CURB SHALL HAVE 3/4" TRANSVERSE EXPANSION JOINTS AT 30' INTERVALS (3/4" PREFORMED EXPANSION JOINT MATERIAL PER WVDOT 708.1). OUTER FACE OF JOINT MATERIAL SHALL BE 1" FROM SURFACE FOR CURB (1/2" FOR SIDEWALK) AND THE SPACE SEALED WITH WVDOT 708.3 JOINT SEALING MATERIAL (SIKAFLEX 1CSL AT SIDEWALK).
8. SIDEWALK SHALL BE SEPARATED FROM BUILDING, COLUMNS, EXISTING CONCRETE, ETC. WITH 1/2" PREFORMED EXPANSION JOINT MATERIAL PER WVDOT 708.1. OUTER FACE OF JOINT MATERIAL SHALL BE 1/2" FROM SURFACE AND THE SPACE SEALED WITH SIKAFLEX 1CSL.
9. WHERE NOTED, EXPANSION JOINT MATERIAL AND JOINT SEALANTS SHALL BE IN ACCORDANCE WITH THE APPROPRIATE WVDOT STANDARD SPECIFICATION SECTION.
10. CONCRETE SURFACES SHALL BE LEVEL/SLOPED AS INDICATED, FINISHED/EDGED PER WVDOT 501.12, AND MOIST CURED PER WVDOT 501.14 (MEMBRANE CURING COMPOUND MUST BE APPROVED).

SCOPE

CIVIL SCOPE ITEMS INCLUDE, BUT MAY NOT BE LIMITED TO:

1. INSTALL PERIMETER FILTER FABRIC FENCE PRIOR TO GRADING AND WITHIN 7 DAYS OF START OF GRUBBING.
2. CONSTRUCT CONSTRUCTION ENTRANCE
3. CLEAR AND GRUB APPROPRIATE AREAS TO BE DISTURBED.
4. PROVIDE ADDITIONAL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AS REQUIRED DURING CONSTRUCTION
5. DEMO EXISTING CONDITIONS
6. CONSTRUCT CUT AND FULL AS SHOWN ON DRAWINGS
7. CONSTRUCT SITE UTILITIES AND STORMWATER MANAGEMENT SYSTEM LOCATED BELOW EXISTING GRADE FROM MAIN TIE-INS TO WITHIN 5' OF BUILDING OR AT FITTING PRIOR TO BUILDING ENTRY.
8. CONSTRUCT BUILDING AND OTHER SITE FEATURES
9. PERFORM FINAL GRADING AS SHOWN ON DRAWINGS
10. PERMANENTLY SEED AND MULCH ALL DISTURBED AREAS
11. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AS CONTRIBUTING AREAS ARE STABILIZED.

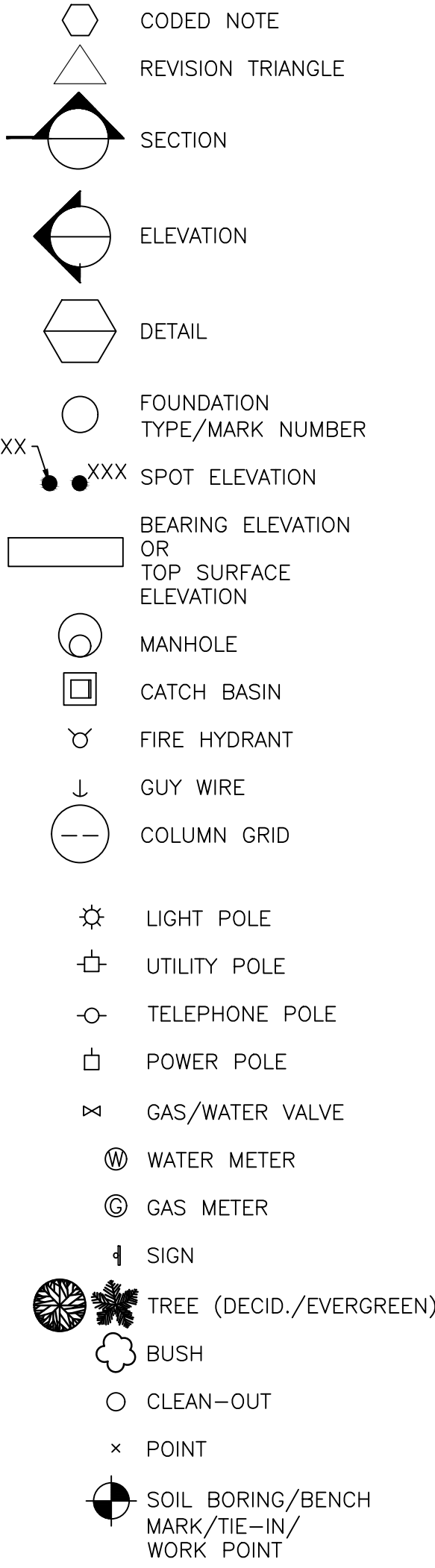
SPECIFIC WORK ITEM EXCEPTIONS AND CLARIFICATIONS ARE NOTED ON THE DRAWINGS. THE PROJECT SPECIFICATIONS SHALL BE REFERENCED FOR ADDITIONAL DETAILS.

CONTRACTORS SHALL BE RESPONSIBLE FOR ALL LABOR, MATERIALS, TAXES, ETC. ASSOCIATED WITH THE RESPECTIVE WORK AS SPECIFIED IN THE PROJECT DOCUMENTS.

ABBREVIATIONS	
AFC/F/G	ABOVE FINISHED CEILING/FLOOR/GRADE
ARCH	ARCHITECT(URAL)
BIT	BITUMINOUS
BL	BUILDING LINE
BLDG	BUILDING
BM	BENCH MARK
BOT	BOTTOM
CB	CATCH BASIN
CIP	CAST-IN-PLACE
CL	CENTERLINE
CLR	CLEARANCE
CMU	CONCRETE MASONRY UNIT
CJ	CONSTRUCTION/CONTROL JOINT
CO	CLEANOUT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
DBO	DESIGN BY OTHERS
DET	DETAIL
DN	DOWN
D&R	DEMOLISH & REMOVE
DS	DOWNSPOUT
DWG	DRAWING
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
ES	EACH SIDE
EW	EACH WAY
EXIST	EXISTING
EXT	EXTERIOR
FDN	FOUNDATION
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FLR	FLOOR
FS	FAR SIDE
FIN	FINISHED
FTG	FOOTING
GA	GAUGE/GAGE
GALV	GALVANIZED
GND	GROUND
HMA	HOT-MIX-ASPHALT
HP	HIGH POINT

ABBREVIATIONS CONT.	
I/	INSIDE OF
ID	INSIDE DIAMETER
INCL	INCLUD(E)(ING)
INS	INSULATION
INT	INTERIOR
INV	INVERT
ISO	ISOLATION
JT	JOINT
LP	LOW POINT
MAS	MASONRY
MFR	MANUFACTURER
MH	MANHOLE
NIC	NOT IN CONTRACT
NS	NEAR SIDE
NTS	NOT TO SCALE
O/	OUTSIDE OF
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD/OVERHANG
OPNG	OPENING
OPP	OPPOSITE
PC	PRECAST
PLC(S)	PLACE(S)
PVMT	PAVEMENT
QTY	QUANTITY
RD	ROOF DRAIN
REINF	REINFORCING
REQD	REQUIRED
RM	ROOM
SCH	SCHEDULE
SECT	SECTION
SP	SPACE
SPEC	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
STA	STATION
STD	STANDARD
STL	STEEL
STR	STRUCTURAL
SW	SIDEWALK
T&B	TOP AND BOTTOM
TBD	TO BE DETERMINED
T/	TOP OF
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WWF	WELDED WIRE FABRIC

SYMBOL LEGEND



UNDERGROUND UTILITIES

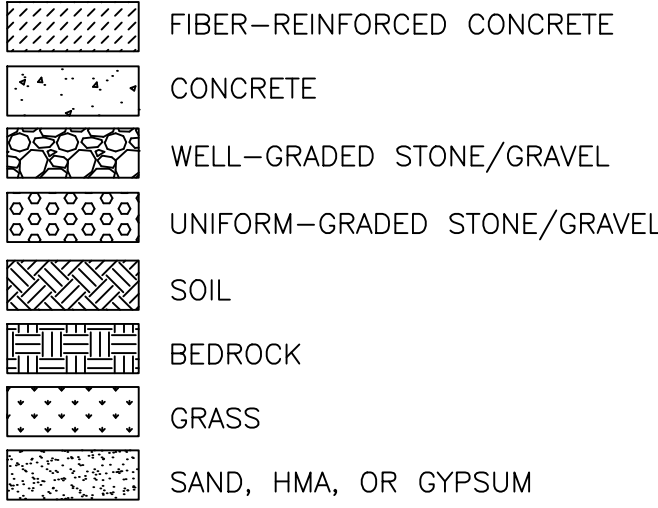
 2 WORKING DAYS BEFORE YOU DIG 

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MISS UTILITY

NON-MEMBERS MUST BE CALLED DIRECTLY

MATERIAL LEGEND



REFERENCES

1. WATERMAN-DOUGLASS TOPOGRAPHIC/ BOUNDARY SURVEY (2021)
2. TRIAD ENGINEERING "REPORT OF GEOTECHNICAL EXPLORATION" (2022)
3. PICKERING ASSOCIATES TOPOGRAPHIC SURVEY (2024)



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				11/07/24	Date
				SLK	By
				0	Rev.

Drawing Description

RPG MANAGEMENT, LLC.
CHARLESTON, WEST VIRGINIA
OAKHURST DRIVE EXPANSION
CIVIL GENERAL NOTES

Project: 2242000.202

Designed By: BSS

Drawn By: BSS

Approved By: SLK

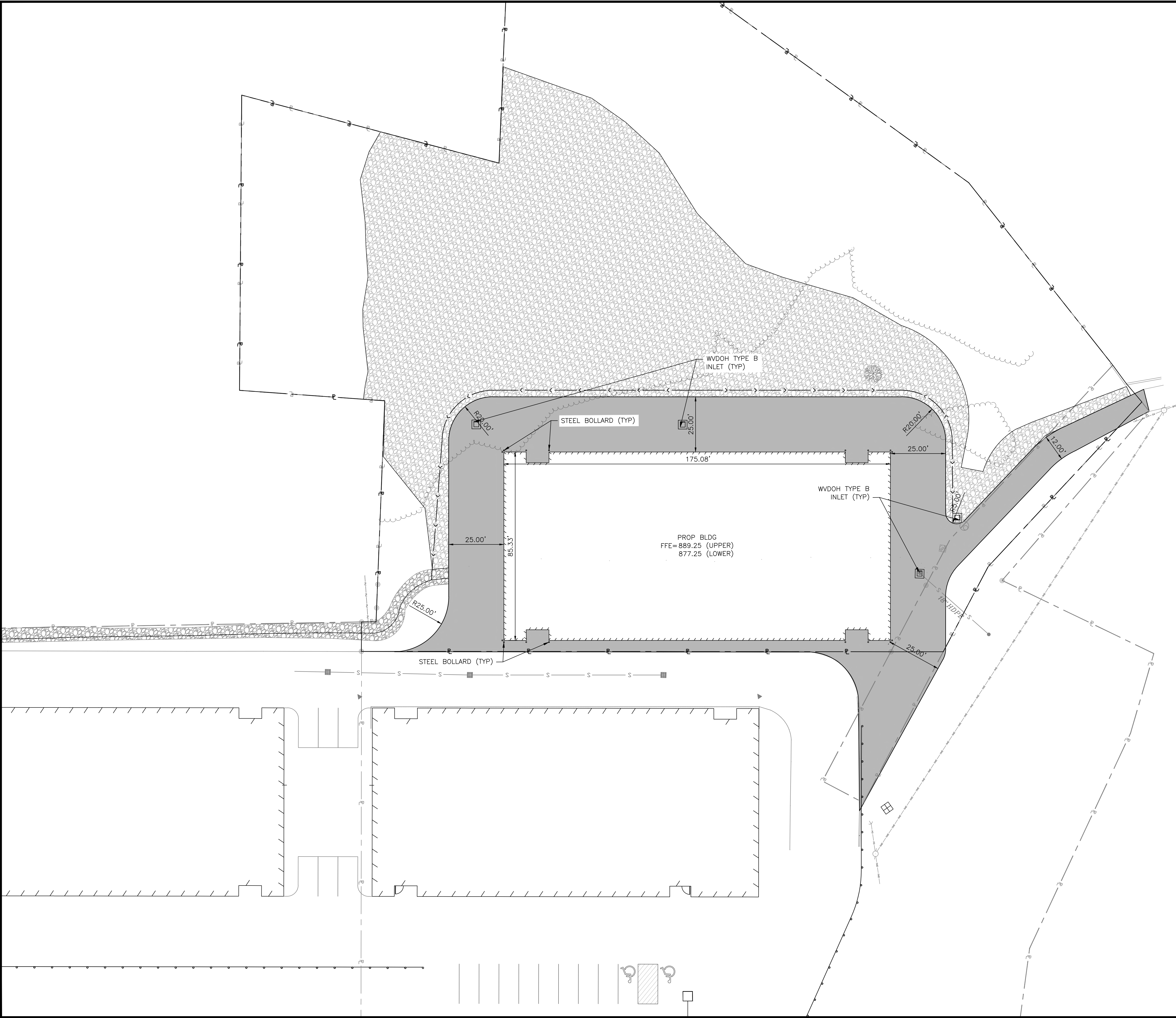
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Plot Date: 11/07/24

Revision: 0

Drawing Number:

C000

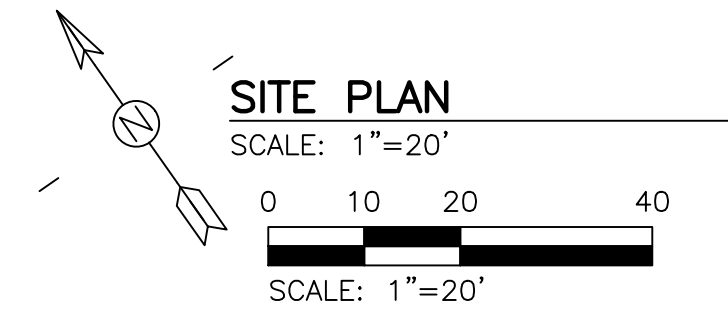


NOTES:

- 1. PROPOSED STRUCTURE(S):
- 1.1. "BUILDING 3"
- 1.1.1. BUILDING LOCATION:
- 1.1.1.1. FAVORS SOUTH OF PARCEL.
- 1.1.2. SQUARE FOOTAGE:
- 1.1.2.1. BUILDING FOOTPRINT: 14,741 SF
- 1.1.2.2. AREA (INCLUDING ALL FLOORS): 29,482 SF
- 1.1.3. ADJACENT RIGHTS-OF-WAY:
- 1.1.3.1. EAST: PRIVATE DRIVE R/W
- 1.1.4. LOT USE:
- 1.1.4.1. EXISTING USE: OVERGROWN SLOPE/SELF STORAGE FACILITY
- 1.1.4.2. PROPOSED USE: MULTI-LEVEL SELF-STORAGE FACILITY
- 1.1.5. NUMBER OF EMPLOYEES/UNITS:
- 1.1.5.1. UNITS:
- 1.1.5.1.1. STORAGE UNITS: 195
- 1.1.6. OFF-STREET-PARKING:
- 1.1.6.1. REQUIRED: INDOOR STORAGE: 1 PER 5,000 GFA
BLDG 2: 29,482 SF (6 SPACES)
6 DESIGNATED PARKING SPACES
- 1.1.6.2. PROVIDED:
- 1.1.7. MEANS OF INGRESS/EGRESS:
- 1.1.7.1. (1) ENTRANCE/EXIT TO OAKHURST DRIVE
- 1.1.7.2. (1) ENTRANCE/EXIT TO MULLINS RD
- 1.1.8. STRUCTURE HEIGHT:
- 1.1.8.1. MAXIMUM HEIGHT: 45.00 FEET
- 1.1.8.2. PROVIDED HEIGHT: 32.25 FEET (2-STORY)
- 1.1.9. SETBACKS (BASED ON C-8 REZONING):
- 1.1.9.1. FRONT SETBACK:
- 1.1.9.1.1. MINIMUM: 0.00 FEET
- 1.1.9.1.2. PROVIDED: 5.00 FEET (BUILDING)
- 1.1.10. SIDE SETBACK (NON-RESIDENTIAL):
- 1.1.10.1. MINIMUM: 0.00 FEET (NOT-ABUTTING RESIDENTIAL)
10.00 FEET (ABUTTING RESIDENTIAL)
55.94 FEET (BLDG - WEST, ABUTTING RESIDENTIAL)
- 1.1.10.2. PROVIDED: 50.18 FEET (BLDG - EAST)
- 1.1.12. REAR SETBACK:
- 1.1.12.1. MINIMUM: 25.00 FEET
- 1.1.12.2. PROVIDED: 103.68 FEET (BUILDING, MINIMUM)

MATERIAL LEGEND

- CONCRETE PAVEMENT
- AGGREGATE
12" OF NO. 2 RIPRAP

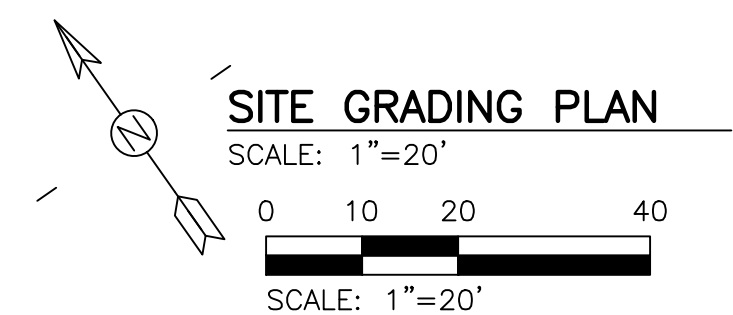
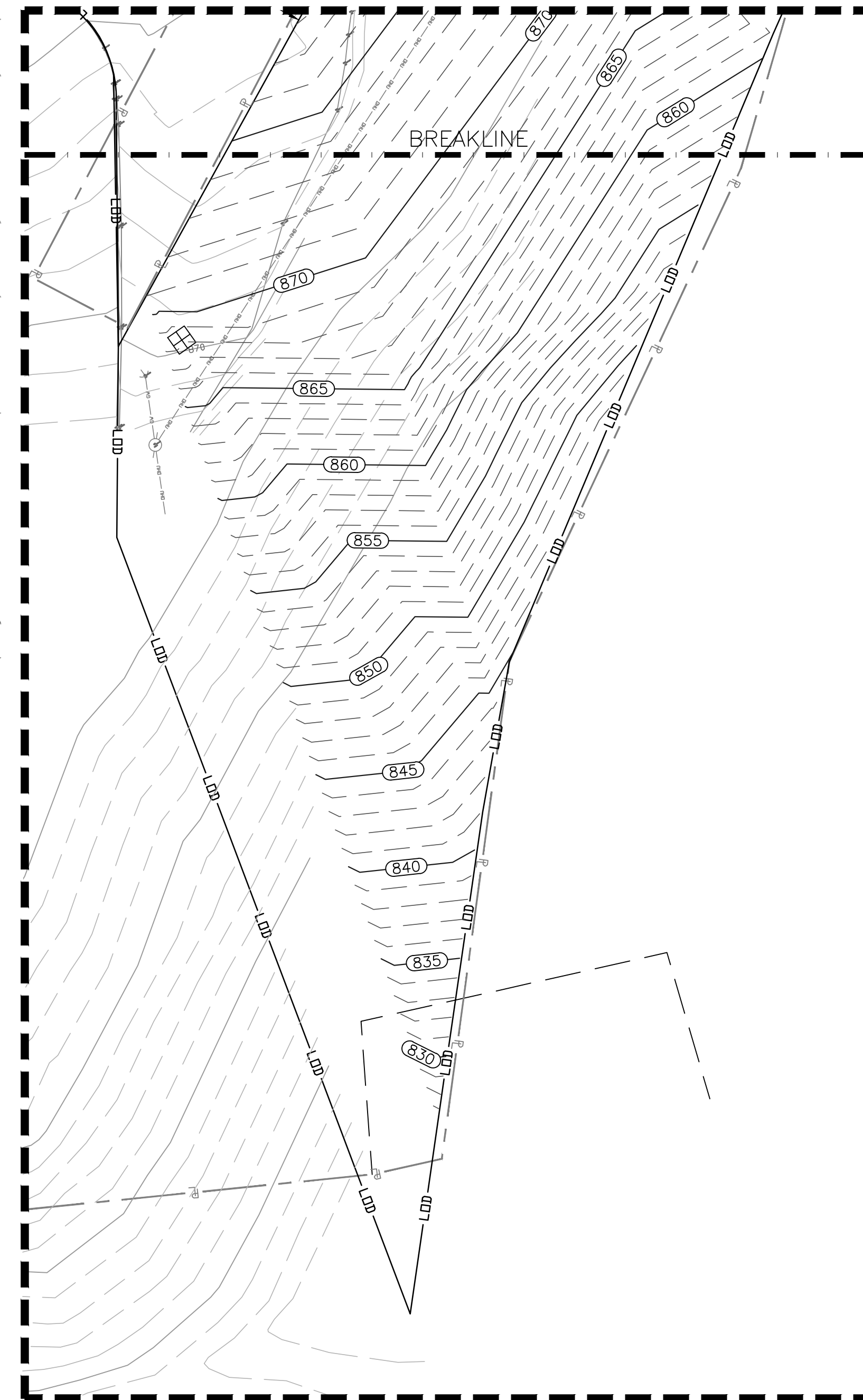
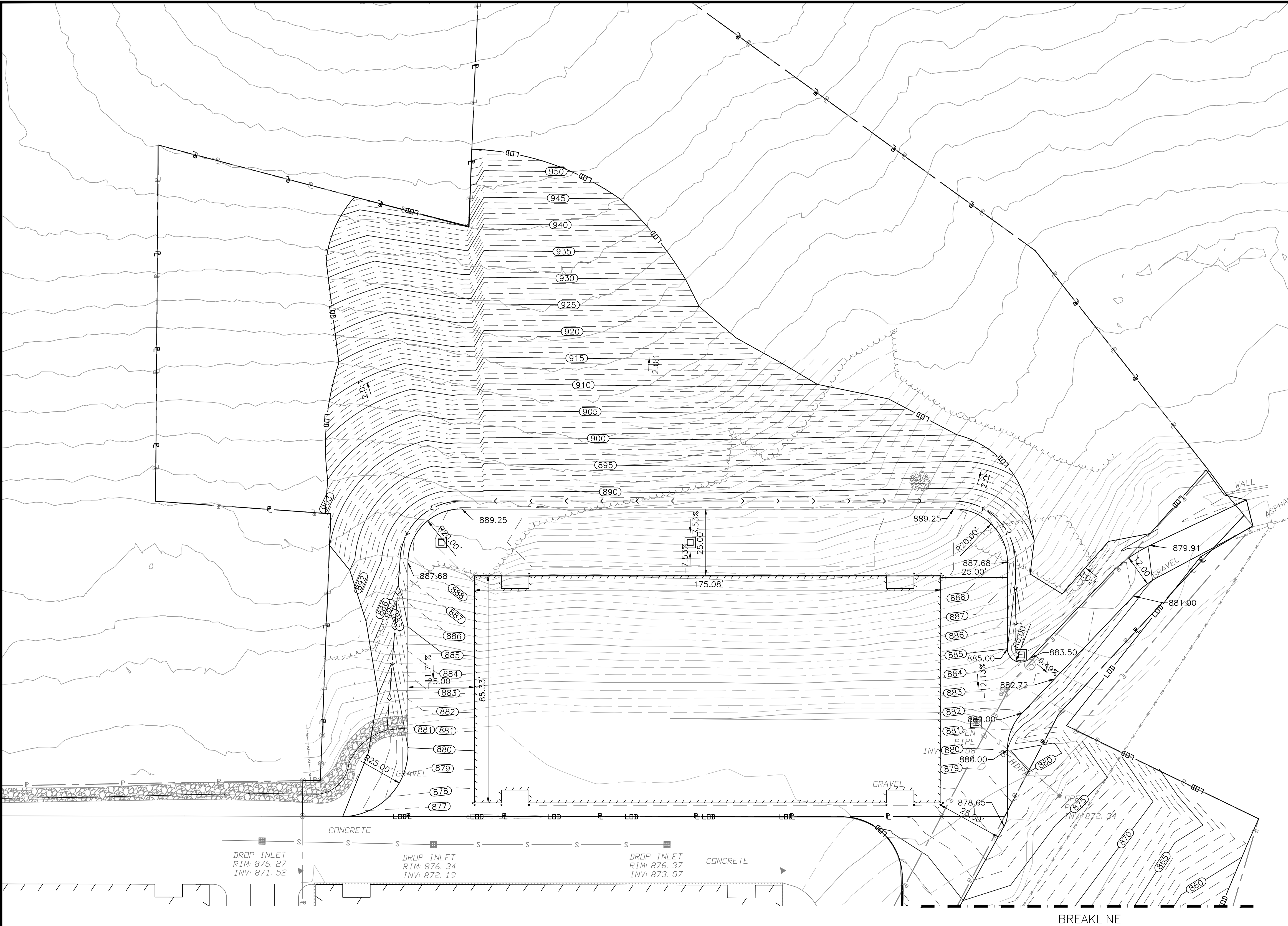


Rev.	By	Date	Description
0	SLK	11/07/24	ISSUED FOR PERMIT

Drawing Description
RPG MANAGEMENT LLC OAKHURST DR, CHARLESTON, WV OAKHURST DRIVE EXPANSION SITE PLAN



Project: 2242000.202
Designed By: BSS
Drawn By: BSS
Checked By: SLK
Scale: AS NOTED
Plot Date: 11/07/24
Revision: 0
Drawing Number: C101



- NOTES:
- ALL SPOT ELEVATIONS REPRESENT FINISHED SURFACES. SPOT ELEVATIONS AT CURBS REPRESENT BOTTOM OF CURB ELEVATIONS. SPOT ELEVATIONS SHOWN IN ITALICS REPRESENT TOP OF CURB OR GROUND SURFACE ADJACENT TO FINISHED PAVEMENT, CONCRETE, ETC. PIPE ELEVATIONS SHOWN IN ITALICS REPRESENT PIPE INVERTS.
 - EXCESS CUT MATERIAL NOT USED FOR GRADING PURPOSES AS SHOWN ON THESE PLANS SHALL BE REMOVED FROM THE PROJECT SITE.
 - ALL CONTOURS REPRESENT TOP OF FINISHED SURFACE (I.E. TOP OF CONCRETE, TOP OF STONE, ETC).
 - THE FINAL TOP 6" OF SOIL NOT COVERED BY BUILDINGS OR PAVEMENT SHALL BE OF THE TYPE TO ADEQUATELY SUPPORT LAWN TYPE PERMANENT SEEDING.
 - CONTRACTOR SHALL REFER TO PROJECT GEOTECHNICAL REPORT FOR RECOMMENDATIONS RELATING TO SUBGRADE PREPARATION, TOE KEY CONSTRUCTION, BONDING BENCH/DRAINAGE CONSIDERATIONS, AND FOUNDATION CONSTRUCTION.
 - CONTRACTOR TO ENSURE ALL WATER DRAINS AWAY FROM PROPOSED STRUCTURES AND TO ENSURE NO STANDING WATER ON THE SITE.
 - SLOPE BEHIND PROPOSED BUILDING TO BE RIP RAPPED. ALL OTHER SLOPES TO BE SEEDDED AND MULCHED.



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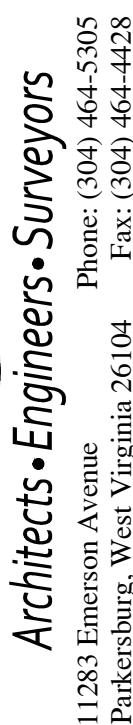
Rev.	By	Date	Description
0	SLK	11/07/24	ISSUED FOR PERMIT

Drawing Description

RPG MANAGEMENT LLC
OAKHURST DR, CHARLESTON, WV
OAKHURST DRIVE EXPANSION
SITE GRADING PLAN



Project: 2242000.202
Designed By: BSS
Drawn By: BSS
Checked By: SLK
Scale: AS NOTED
Plot Date: 11/07/24
Revision: 0
Drawing Number: C102

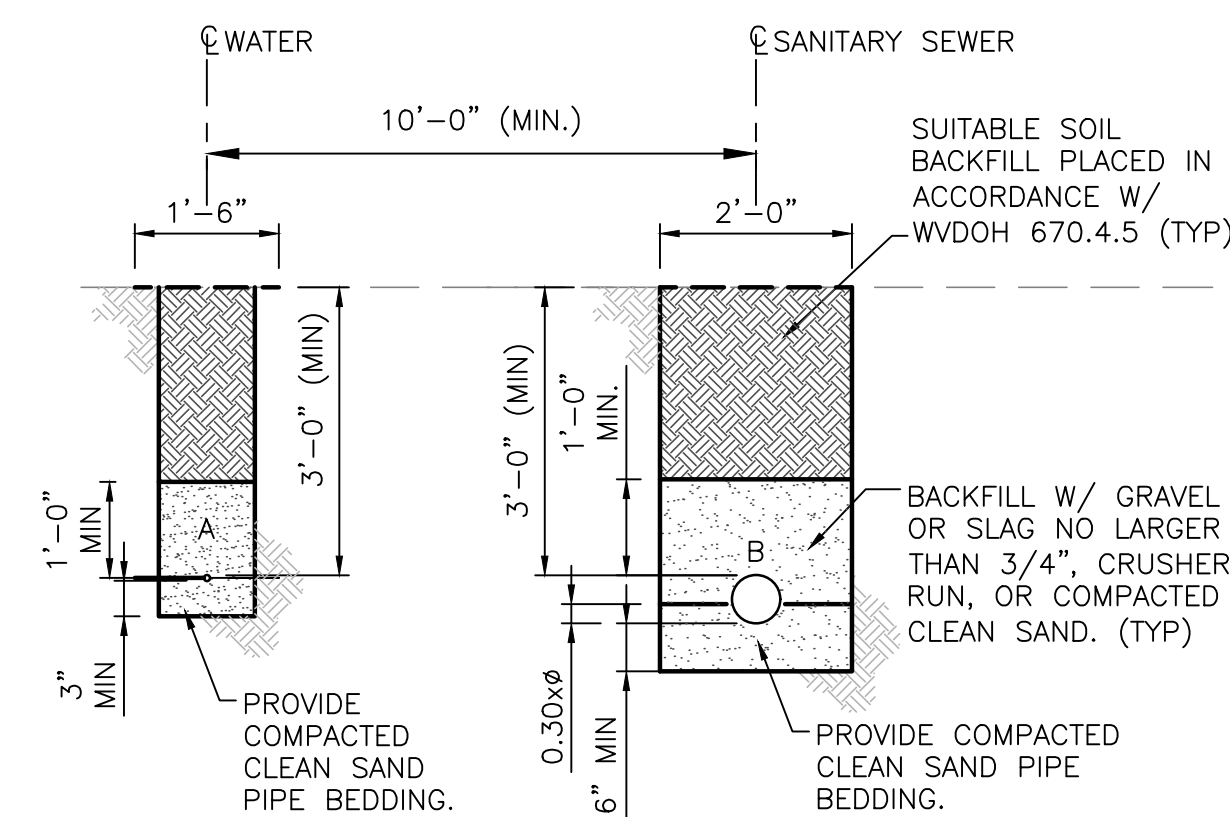


0	ISSUED FOR PERMIT	SLK	11/07/24
Rev.	Description	By	Date

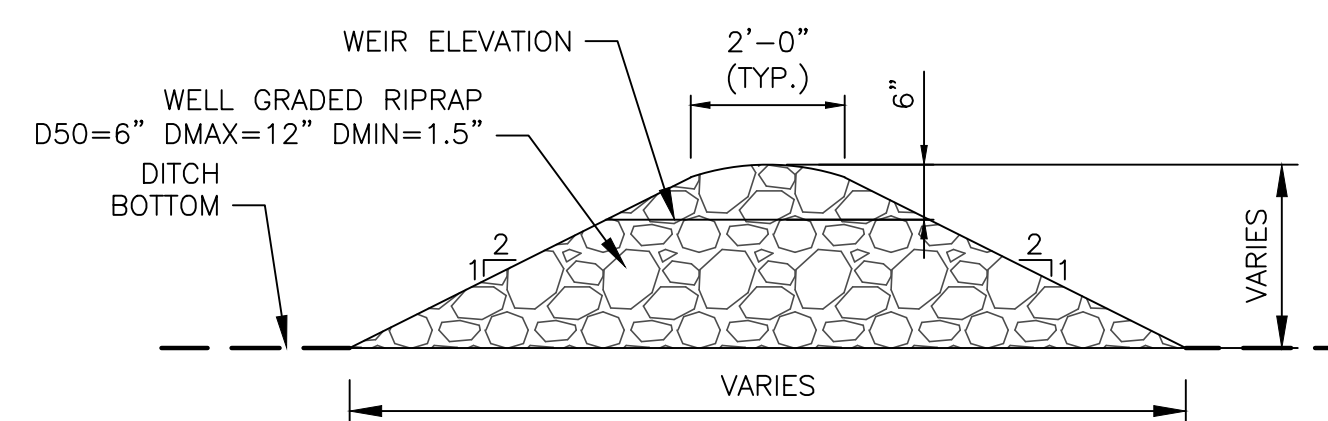
Drawing Description RPG MANAGEMENT, LLC OAKHURST DR, CHARLESTON, WEST VIRGINIA OAKHURST DRIVE EXPANSION SECTIONS AND DETAILS



Project: 2242000.202
Designed By: BSS
Drawn By: BSS
Checked By: SLK
Scale: AS NOTED
Plot Date: 11/07/24
Revision: 0
Drawing Number: C500

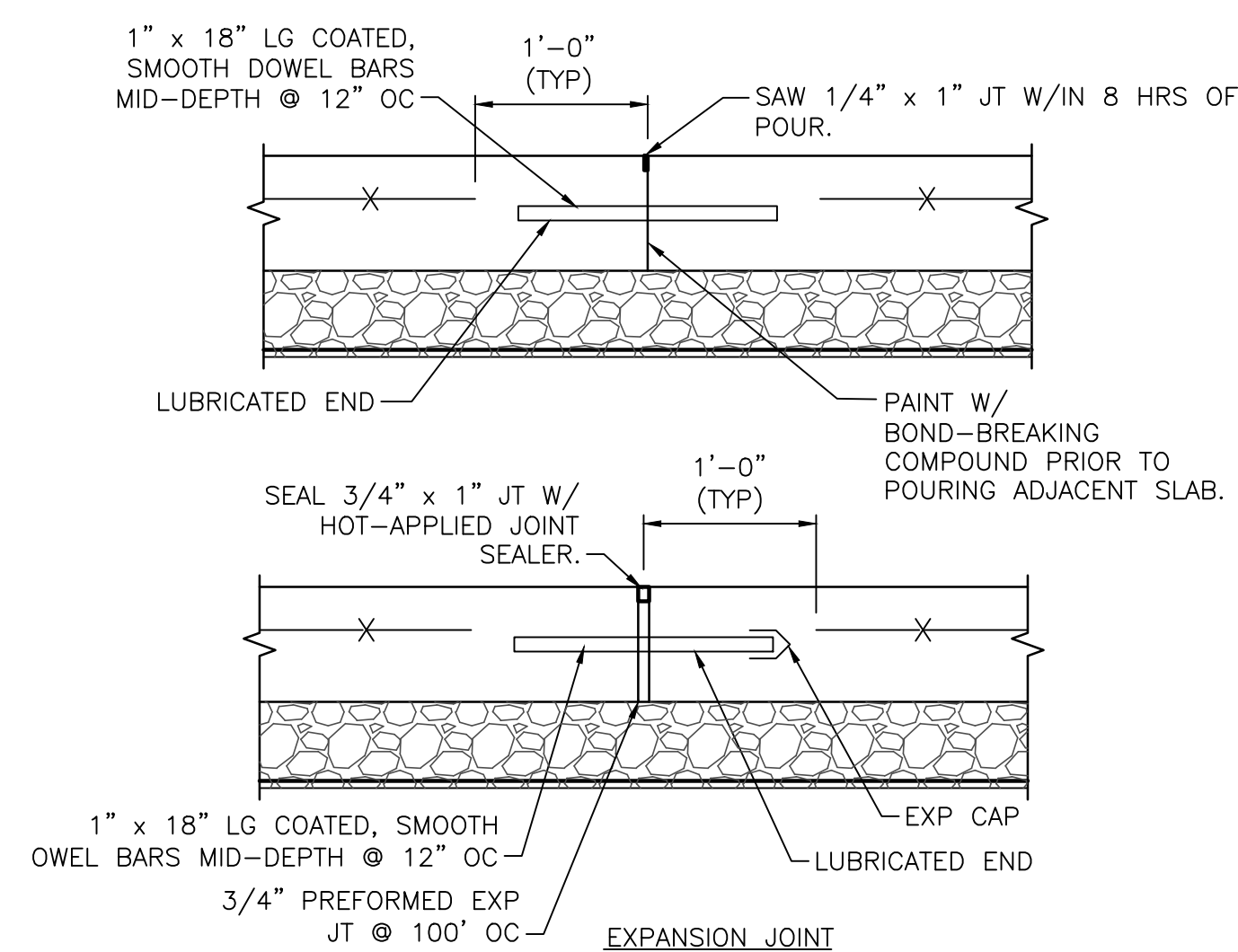
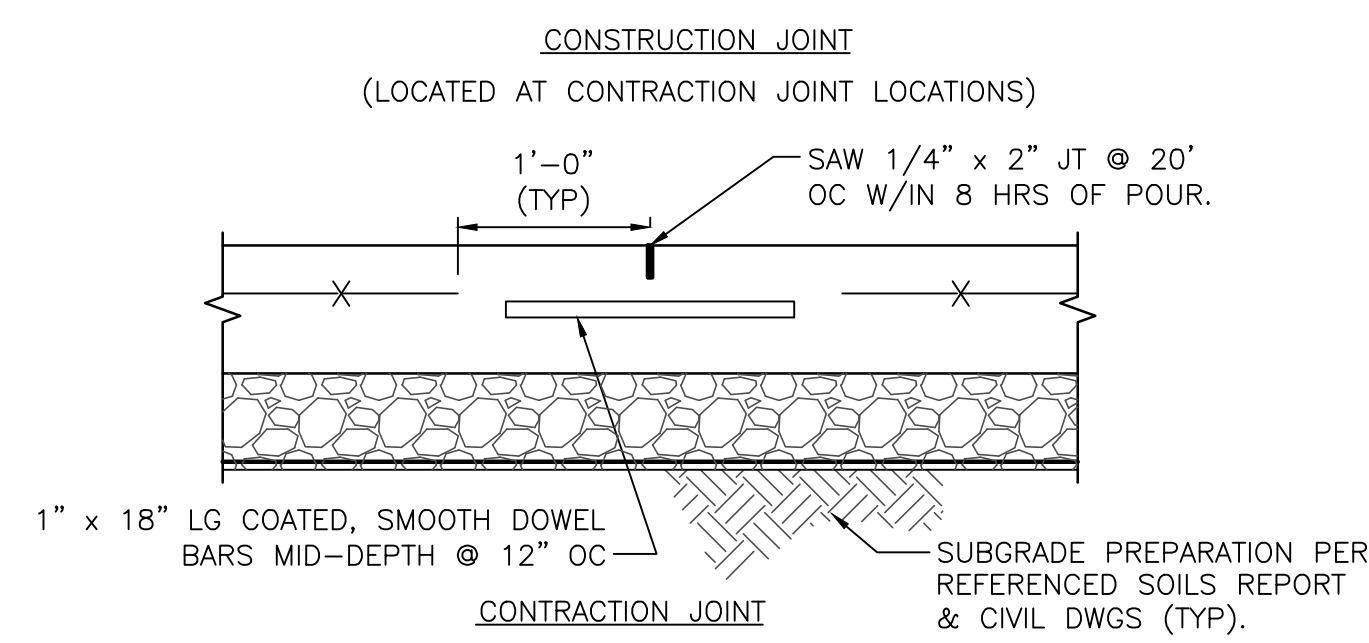


2 TYPICAL UTILITY TRENCHES
C500 SCALE: 1/2"=1'-0"



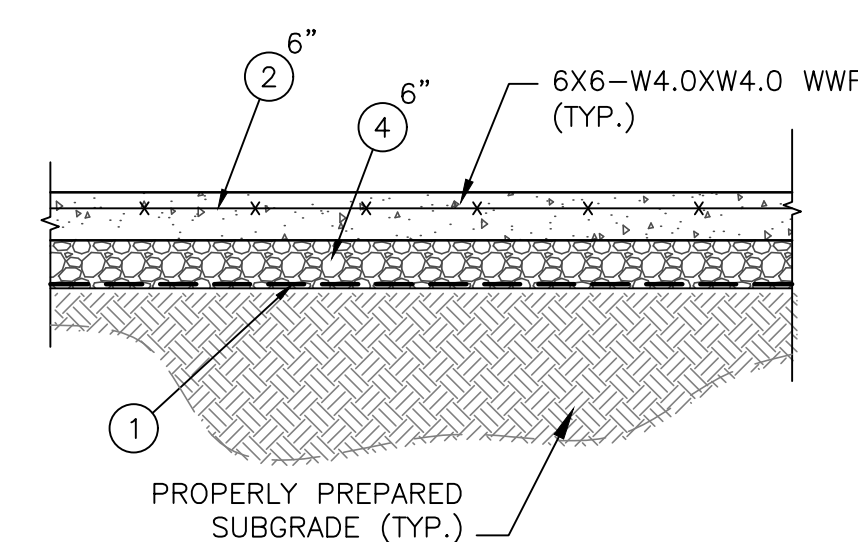
NOTE:
1. CONSTRUCT IN ACCORDANCE WITH WVDEP
SEDIMENT AND EROSION CONTROL MANUAL.

ROCK CHECK
DAM DETAIL
SCALE: NO SCALE



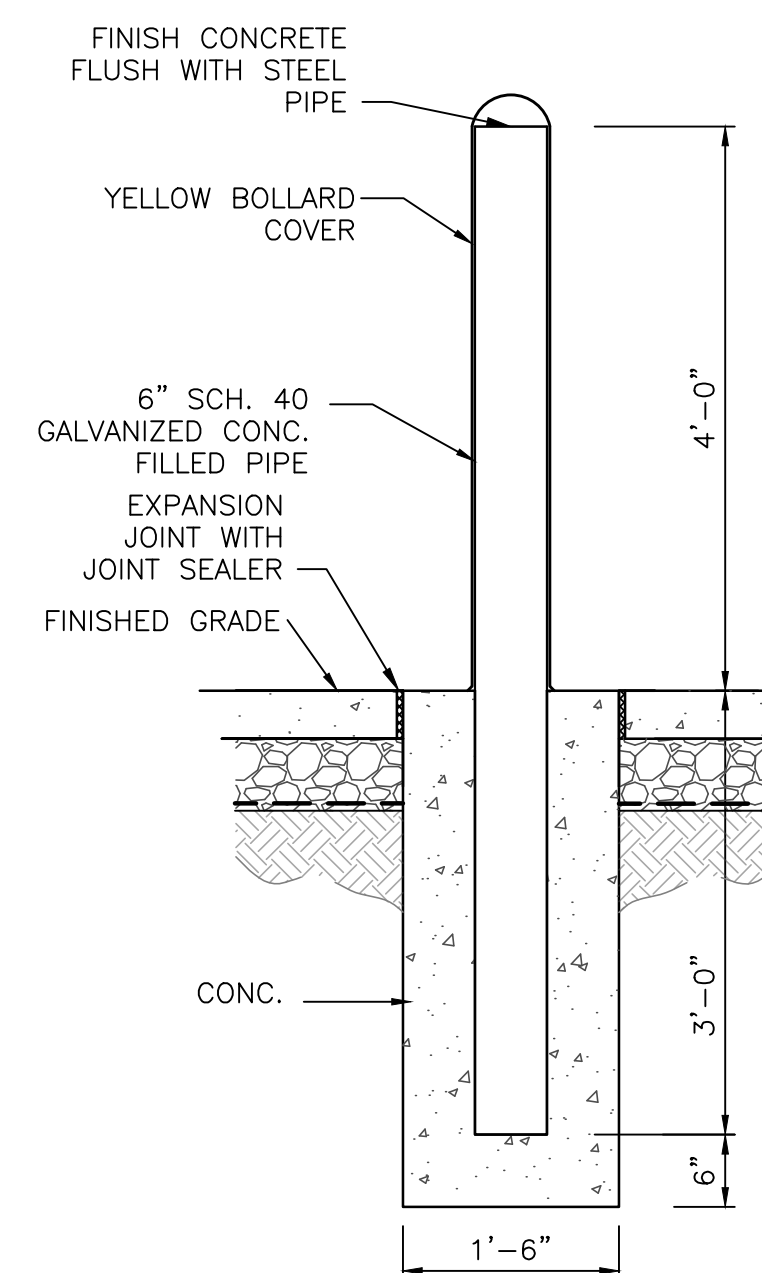
TYPICAL CONC PAVEMENT
AND JOINT DETAILS
SCALE: 1"=1'-0"

*COORDINATE WITH RESPECTIVE WVDOT SPECIFICATIONS FOR REINFORCED CONCRETE PAVEMENT AND REINFORCEMENT.




 STD. DUTY CONC.
 PVMT SECTION
 SCALE: 1/2"=1'-0"

- ① ITEM 207034-000 FABRIC FOR SEPARATION
- ② ITEM 501001-006 6 INCH REINFORCED PORTLAND CEMENT CONCRETE PAVEMENT
- ③ ITEM 501001-008 8 INCH REINFORCED PORTLAND CEMENT CONCRETE PAVEMENT
- ④ ITEM 304 AGGREGATE BASE



 **BOLLARD DETAIL**
SCALE: 3/4"=1'-0"