



Charleston Board of Zoning Appeals

AGENDA

8:30 a.m., Thursday, October 10, 2024

City Service Center Conference Room · 915 Quarrier Street

I. Items for Review

CUP-24-0246

Application of Matthews Gibraltar Mausoleum requesting a conditional use permit in order to expand the current conditional use of a cemetery on the property located at **881-899 Association Dr.**

II. Approval of minutes for the September 26, 2024 hearing.

Board of Zoning Appeals

Application for Conditional Use Permit

CU # _____

Hearing Date: _____

Applicant Information	Property Information
Name: Meghan Jones Matthews Gibraltar Mausoleum	Address: Mount Olivet Cemetery 881-899 Association Dr Charleston, WV 25301
Address: 252 RIDC Park West Dr Pittsburgh, PA 15275	Tax Map and Parcel: 48-62 Parcel ID: 20-10-0048-0062-0000
Phone: 412-215-3148	Zoning District: R-4 - Single Family Residential District
Agent Name, Address and Phone Number: (if other than applicant)	Property Owner and Mailing Address: (if other than applicant)

IMPORTANT: This application must be typed or legibly printed and filed with the Planning Department in person or by mail to 915 Quarrier Street, Suite 1 Charleston, WV 25301, or by email to planning@cityofcharleston.org. The following items must accompany this application: 1) a site plan drawn to scale; 2) \$125.00 filing fee in the form of a check or money order made payable to City of Charleston; 3) any additional information, including photographs, elevations, testimonials or other documentation, which may support your application. You or your representative must be present at the scheduled public hearing in order to present your request and answer questions. THE PLANNING DEPARTMENT WILL NOT ACCEPT ANY INCOMPLETE APPLICATIONS.

Please describe the proposed use. Include information such as the activities to be conducted on the site, hours these activities will be conducted, and any other data pertinent to the proposed use. If the proposed use is a business, please attach a list of the officers and their contact information. _____

The proposed use of the mausoleum is for the assembly of people during funerals and visitation to internments. Visitors will park in the parking lot adjacent to the site and will visit for approximately 30 minutes at a time.

Applicable Section(s) of the Zoning Ordinance _____ Article 5 - R-4 Single Family Residential District

Does the proposed use comply with the conditions set forth in the Zoning Ordinance? Yes

Please describe any proposed work to be done on the property. _____

The proposed work includes the construction of a 842 square foot mausoleum with grading and stormwater improvements.

If your request for a conditional use permit is granted, how will others in the area be affected? _____

The mausoleum will provide a place for community members to honor their loved ones. There will be no significant increase in traffic congestion.

Will your request devalue the property of others in the vicinity by altering land use characteristics or diminishing the marketable value of adjacent land and structures or increasing congestion on public streets? No

Is your request consistent with the purposes and intent of the Zoning Ordinance of the City of Charleston? _____

Yes

I hereby affirm that all of the statements and information contained in or filed with this application are true and correct to the best of my knowledge.

Meghan Jones
Signature

09/12/2024

Date



UNDERGROUND FACILITIES PROTECTION NOTE:

UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION OF EXISTING SURFACE FEATURES SUCH AS CATCH BASIN RIMS, MANHOLE COVERS, WATER VALVES, ETC. AND ELEVATION DATA SUCH AS COVER ELEVATIONS AND PIPE INVERTS ARE THE RESULT OF FIELD SURVEY UNLESS NOTED OTHERWISE. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH IS NOT KNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND THE ELEVATIONS OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE "UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION" (DIGSAFE NEW YORK) MUST BE NOTIFIED A MINIMUM OF 48 HOURS (2 BUSINESS DAYS) PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION OR CONSTRUCTION. CALL 1-800-962-7562.

MOUNT OLIVET CEMETERY GARDEN MAUSOLEUM

1555 FARNSWORTH DRIVE
CHARLESTON, WEST VIRGINIA 25301
PARCEL ID 20-10-0048-0062-0000

(MEG - 220804.13)

McLAREN ENGINEERING GROUP

530 CHESTNUT RIDGE ROAD
WOODCLIFF LAKE, NEW JERSEY

SITE PLAN APPROVAL

AUGUST 2024

DRAWING LIST

PLANS PREPARED BY McLAREN ENGINEERING GROUP

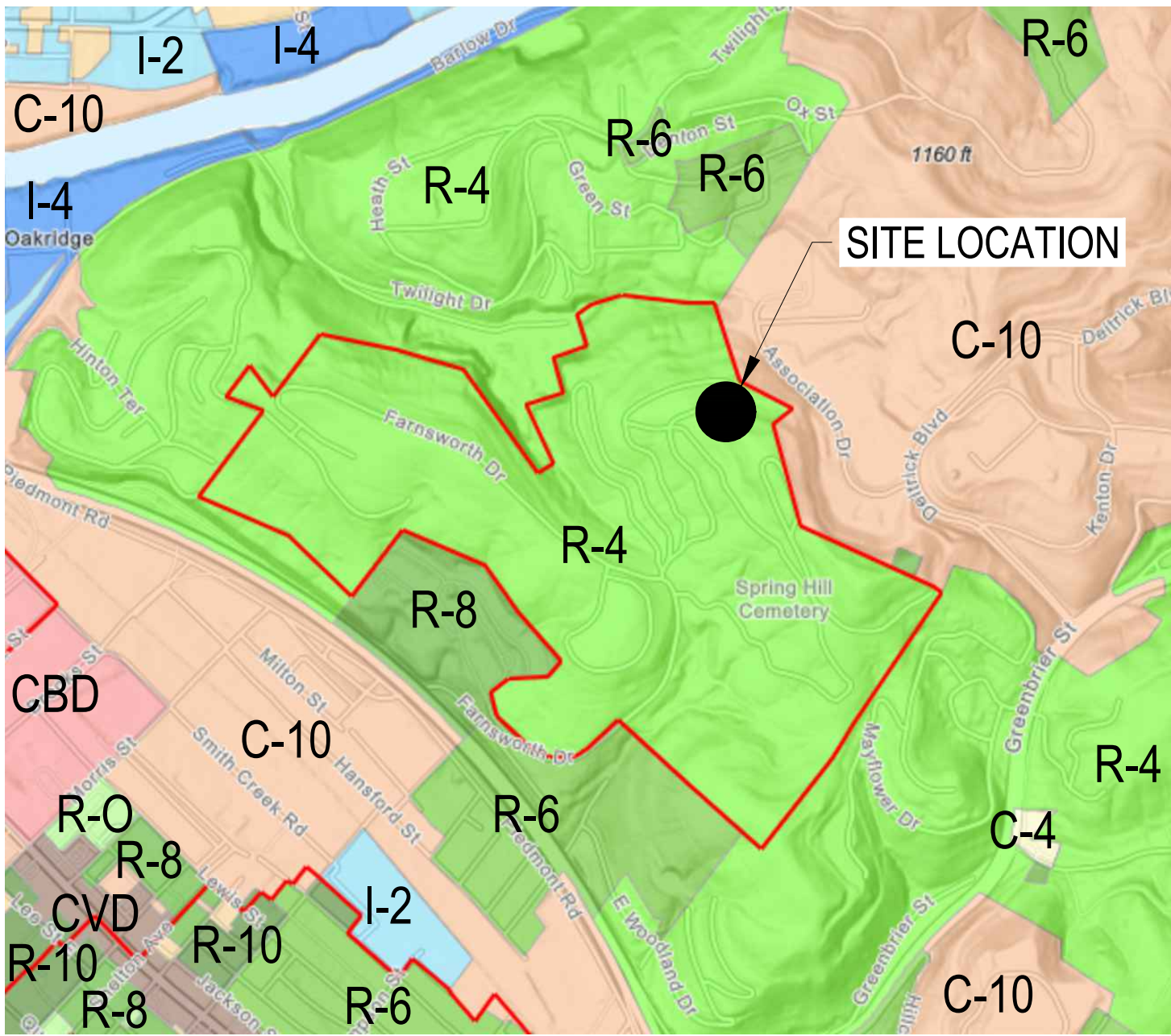
C-001	COVER SHEET
C-100	EXISTING CONDITIONS & DEMOLITION PLAN
C-101	SITE PLAN
C-201	DRAINAGE & GRADING PLAN
C-401	SOIL EROSION & SEDIMENT CONTROL PLAN
C-501	CIVIL DETAILS

OWNER:

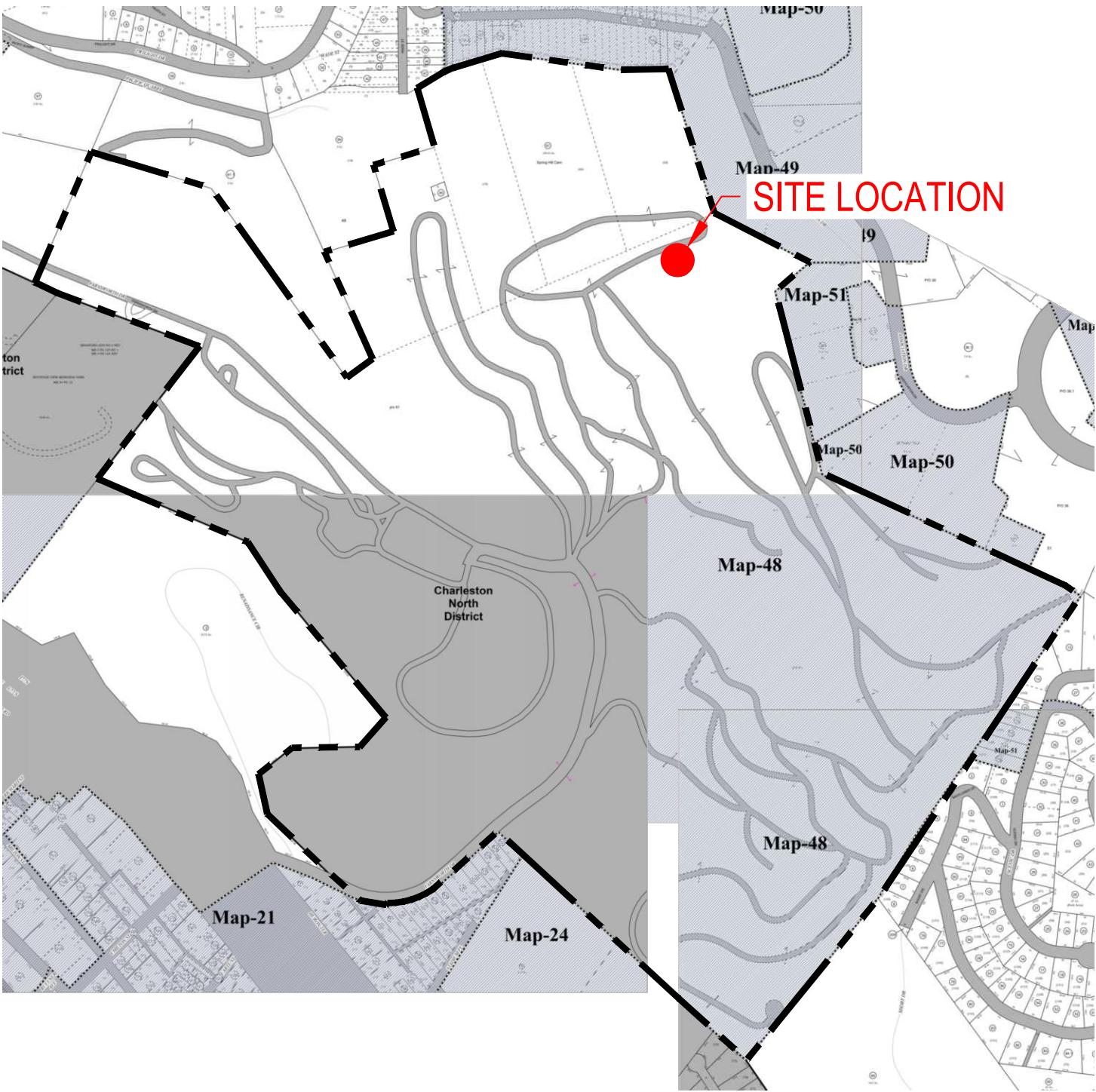
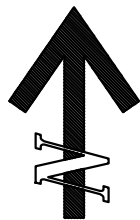
SPRING HILL CEMETERY
1555 FARNSWORTH DRIVE
CHARLESTON, WV 24301

APPLICANT:

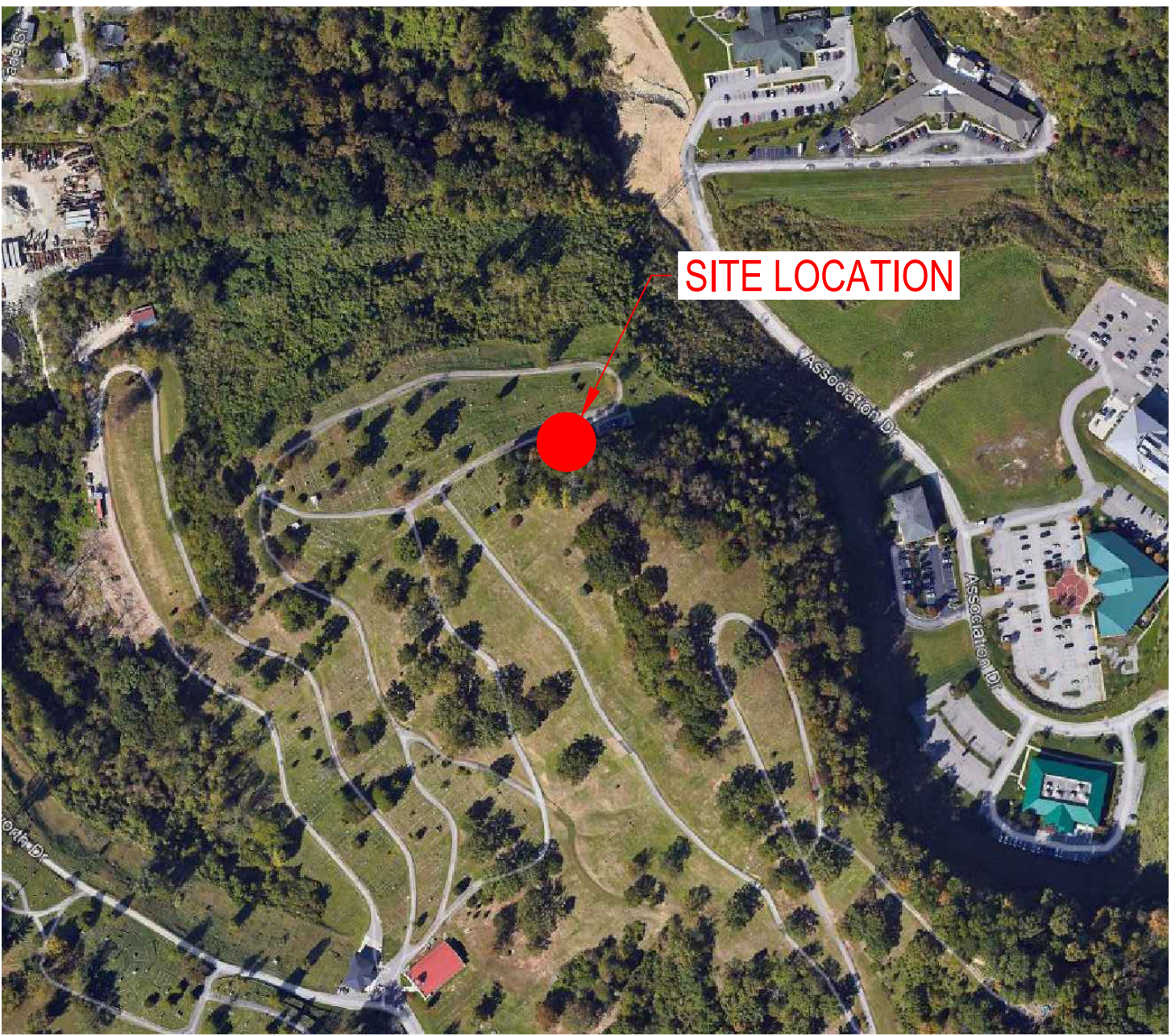
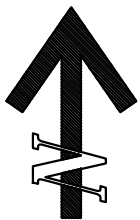
MATTHEWS GIBALTAR MAUSOLEUM & CONSTRUCTION COMPANY
252 RIDC PARK WEST DRIVE
PITTSBURGH, PA 15275
(412) 215-3148



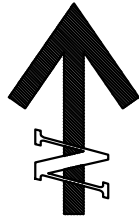
ZONING MAP
1"=1,000'



TAX MAP
1"=500'



KEY MAP
1"=300'



MOUNT OLIVET CEMETERY
GARDEN MAUSOLEUM
CHARLESTON, WEST VIRGINIA

SEAL

SHEET TITLE

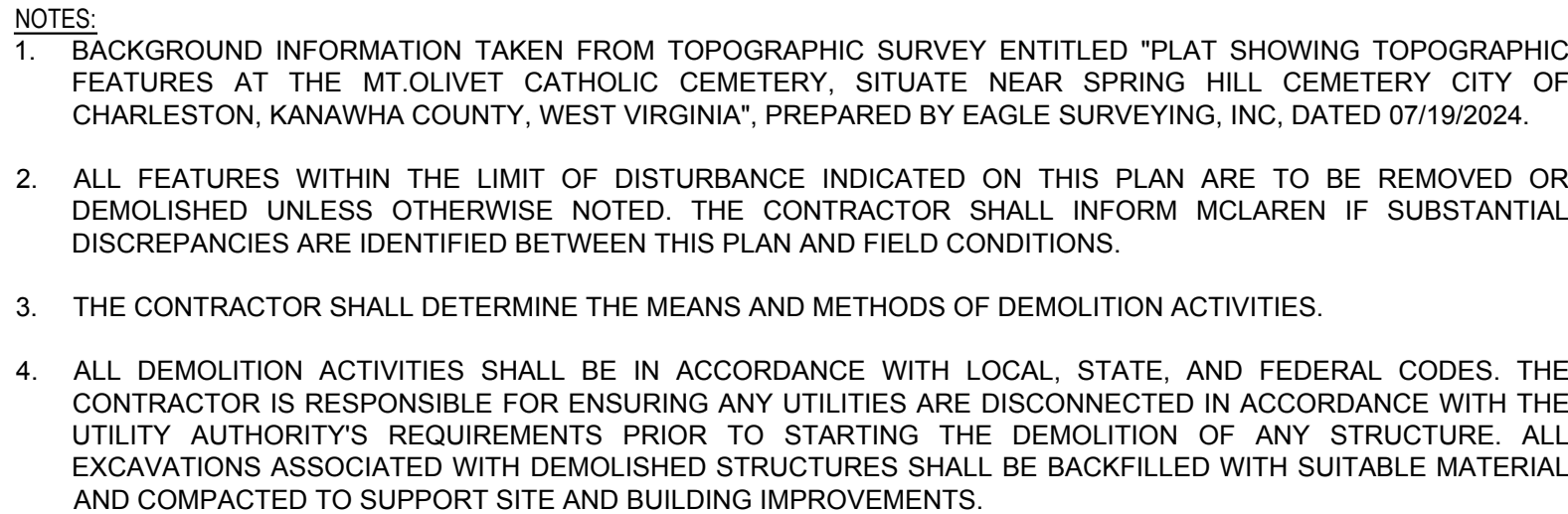
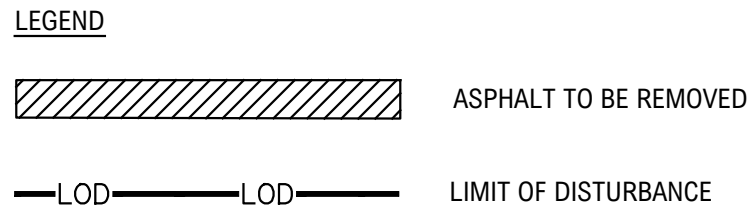
COVER SHEET

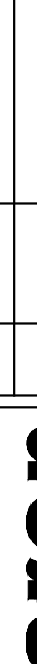
PROJECT NO.	220804.13
SCALE	AS SHOWN
DATE	08/08/2024
DRAWN BY	JTE/BJV
CHECKED BY	MJK/DMB

DRAWING NO.

C-001

1 OF 6 SHTS

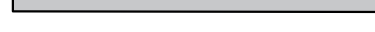


PROJECT		 McLaren ENGINEERING GROUP McLaren Technical Services, Inc. 530 Chestnut Ridge Road Woodcliff Lake, NJ 07677 T: 201.775.6000 www.mgmlaren.com	
SEAL	MOUNT OLIVET CEMETERY GARDEN MAUSOLEUM CHARLESTON, WEST VIRGINIA		
SHEET TITLE		EXISTING CONDITIONS & DEMOLITION PLAN	
DRAWING NO.		C-100	
PROJECT NO.	220804.13	DATE	AS SHOWN
SCALE		DRAWN BY	JTB/BJV
CHECKED BY	MJK/DMB		
DRAWING NO.		2 OF 6 SHEETS	



LAND USE TABLE				
DISTRICT	SINGLE FAMILY RESIDENTIAL DISTRICT (R-4)			
PROPOSED USE	MAUSOLEUM			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED MAUSOLEUM	PROPOSED OVERALL
MINIMUM LOT SIZE (SF)	6,000	6,473,451.6	N/C	N/C
MINIMUM LOT FRONTAGE (FT)	50	± 1,340	N/C	N/C
MINIMUM FRONT SETBACK (FT)	20	± 950	± 24,350	± 950
MINIMUM SIDE SETBACK (FT)	5	± 272	± 322	± 272
MINIMUM REAR SETBACK (FT)	25	± 92	± 144	± 92
MINIMUM ACCESSORY REAR/SIDE SETBACK (FT)	3	N/A	N/A	N/A
MAXIMUM PRINCIPAL BUILDING HEIGHT	35 FT (2.5 STORIES)	± 15 FT	± 14.2 FT	± 15 FT
MAXIMUM ACCESSORY BUILDING HEIGHT	18 FT	N/A	N/A	N/A
MAXIMUM BUILDING COVERAGE (%)	50	± 0.15%	± 0.16%	± 0.16
MINIMUM LOT SIZE (AC)	2	148.61	N/C	N/C
SETBACK FROM STREET/LOT LINES (FT)	50	± 92	± 144	± 92

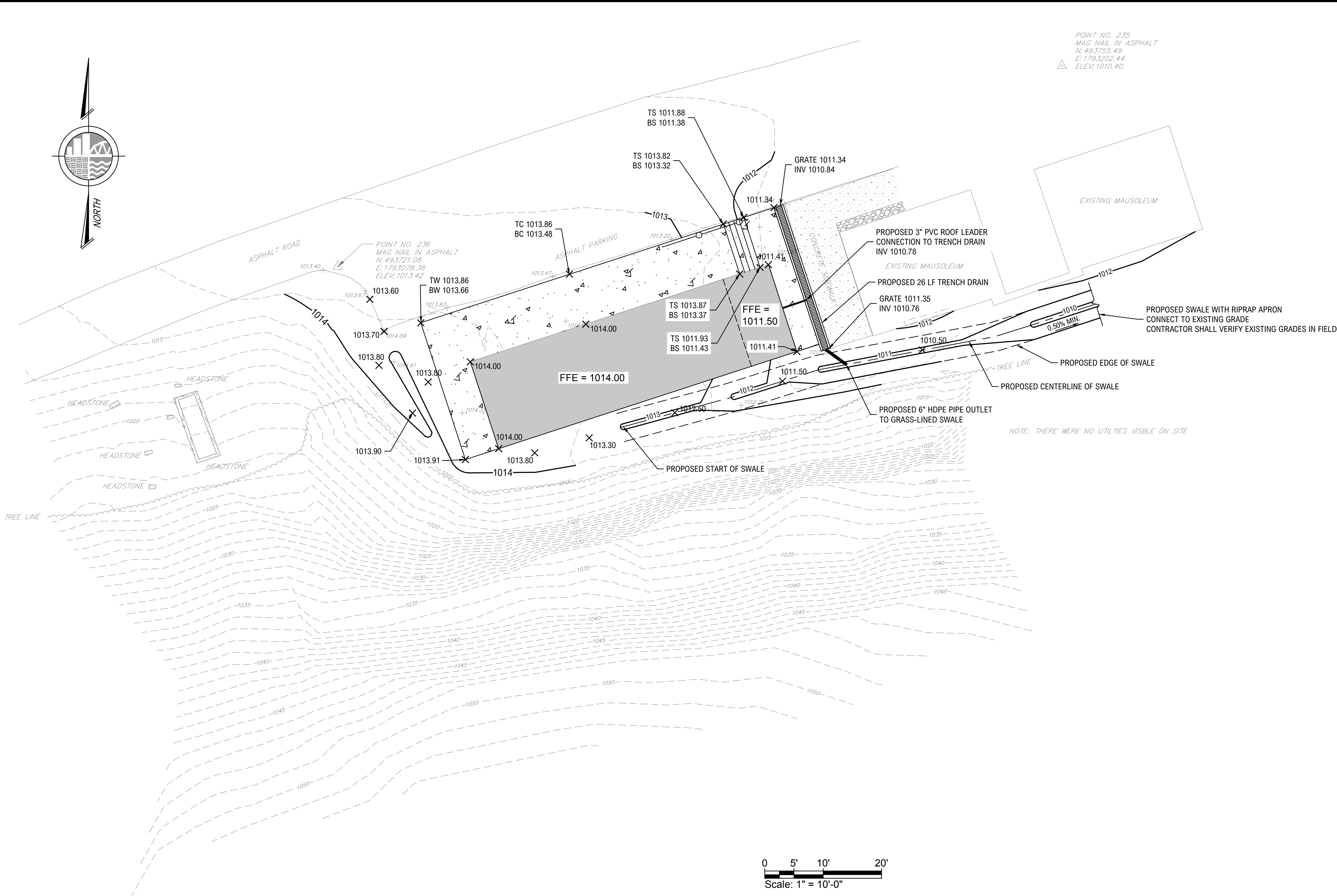
E/C = EXISTING NONCONFORMITY
 ** = CEMETERY CONDITIONAL USE

- LEGEND**
- | | |
|---|---------------------|
|  | CONCRETE |
|  | MAUSOLEUM |
|  | ASPHALT RESTORATION |
|  | RAILING |
|  | CENTERLINE OF SWALE |
|  | EDGE OF SWALE |

1. THE CONTRACTOR SHALL ENSURE THAT REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. A SET OF REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL NOT DIVERT FROM THE PROPOSED WORK IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY MCLAREN.
3. THE CONTRACTOR SHALL DETERMINE THE MEANS AND METHODS OF CONSTRUCTION ACTIVITIES.
4. THE ARCHITECTURAL PLANS, PREPARED BY MATTHEWS GIBRALTR MAUSOLEUM AND CONSTRUCTION COMPANY, DATED JULY 12, 2017, WERE UTILIZED FOR THE BUILDING FOOTPRINT.

[illegible]

FILE NAME: P:\Proj2020\20804.13\10_Dwg\Grading & Drainage Plan.dwg PLOT TIME: Tuesday, September 03, 2024 - 9:02 AM BY: Brandon J. Veeger



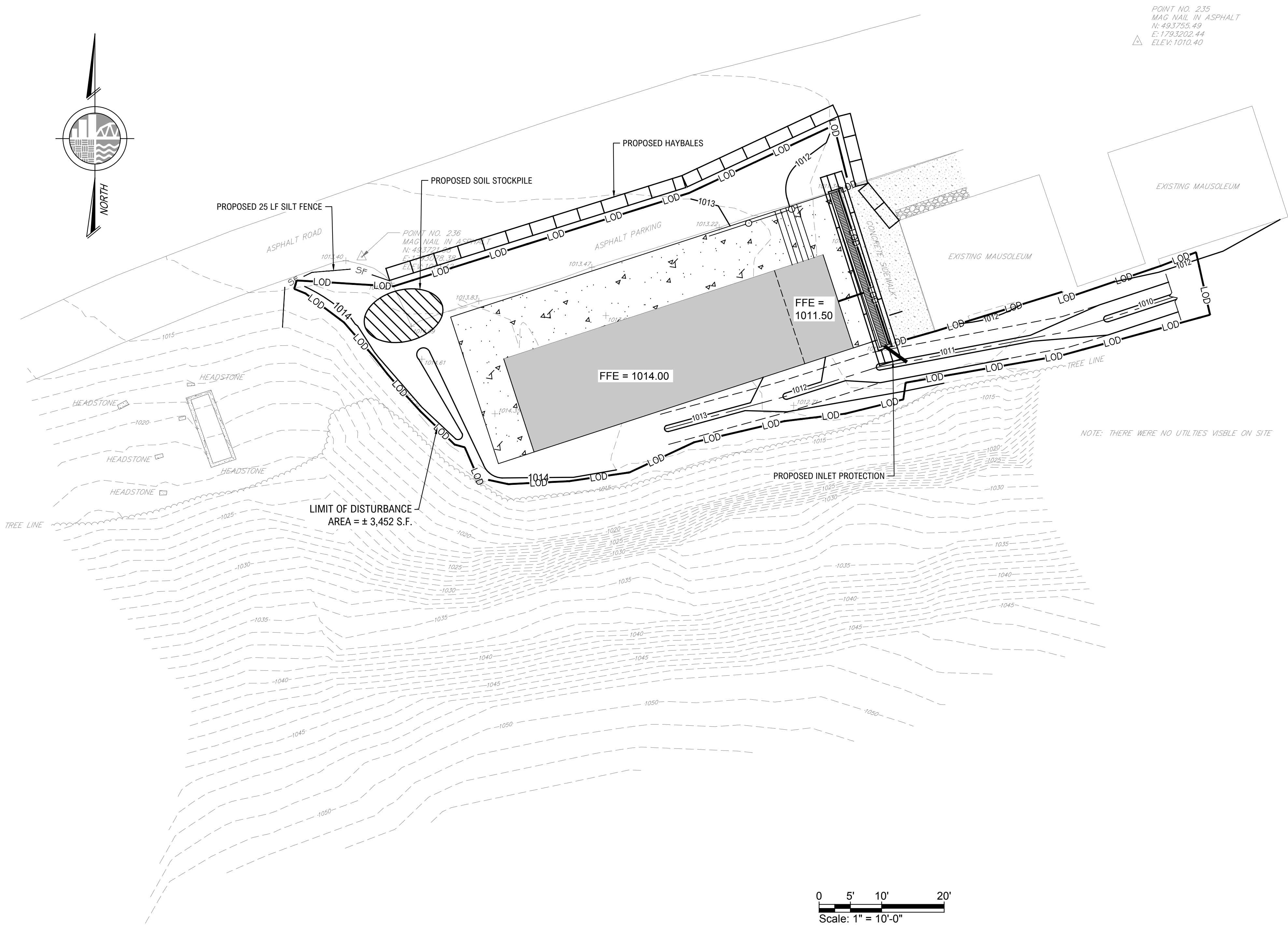
- NOTES:
1. A MINIMUM 1.00% SLOPE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND NOTIFY McLAREN IF THIS CONDITION CANNOT BE MET.
 2. CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 5% RUNNING SLOPE AND A MAXIMUM OF 2% CROSS SLOPE ALONG THE ACCESSIBLE PATH OF TRAVEL. THE ACCESSIBLE PATH OF TRAVEL SHALL BE 36\"/>

GRADING LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	TRENCH DRAIN
	STORM PIPE
	CENTERLINE OF SWALE
	EDGE OF SWALE
	SPOT GRADE
	TOP OF STAIR/BOTTOM OF STAIR ELEVATION

PROJECT	
MOUNT OLIVET CEMETERY GARDEN MAUSOLEUM	
CHARLESTON, WEST VIRGINIA	
SEAL	
SHEET TITLE	
GRADING & DRAINAGE PLAN	
PROJECT NO.	220804.13
SCALE	AS SHOWN
DATE	08/08/2024
DRAWN BY	JTE/BJV
CHECKED BY	MJK/DMB
DRAWING NO.	C-201
4 OF 6 SHTS	

FILE NAME: P:\Proj\220220804.13\10_Dwg\Soil Erosion & Sediment Control Plan.dwg PLOT TIME: Tuesday, September 03, 2024 - 9:02 AM BY: Brandon J. Vecere

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NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING AND ACCORDING TO PLANS OR AS DIRECTED BY THE CITY OF CHARLESTON'S EROSION CONTROL INSPECTOR.
2. THE APPROVAL OF THE EROSION CONTROL PLAN DOES NOT MEAN THAT ADDITIONAL MEASURES MAY NOT BE REQUIRED TO STOP OFF-SITE SEDIMENT.
3. THE OWNER/DEVELOPER SHALL REQUIRE THE CONTRACTOR TO TAKE EVERY REASONABLE PRECAUTION THROUGHOUT CONSTRUCTION TO PREVENT EROSION OF SOIL AND SEDIMENTATION OF STREAMS, LAKES, RESERVOIRS, OTHER IMPOUNDMENTS, GROUND SURFACES OR OTHER PROPERTY, AS REQUIRED BY SECTION 102-316, EROSION AND SEDIMENT CONTROL DESIGN REQUIREMENTS, OF THE CODE OF ORDINANCES, CITY OF CHARLESTON, WEST VIRGINIA.
4. THE OWNER/DEVELOPER IS RESPONSIBLE FOR MAINTAINING THE EROSION AND SEDIMENT CONTROL DEVICES FOR THE DURATION OF THE CONSTRUCTION.
 - 4.1. INSPECT THE SITE AFTER EACH RAIN AND PERIODICALLY TO ENSURE WORKMANSHIP IS ACCORDING TO PLAN AND SITE IS IN COMPLIANCE WITH THE EROSION CONTROL ORDINANCE.
 - 4.2. REPAIR OR REPLACE DAMAGED OR INOPERATIVE DEVICES AS DIRECTED BY THE SOIL EROSION INSPECTOR WITHIN A REASONABLE TIME OR TIME SET FORTH BY THE INSPECTOR.
 - 4.3. KEEP MUD OFF CITY STREETS
5. IF ERODED SOIL FROM THE SITE IS DEPOSITED ON ADJACENT PROPERTY, PUBLIC STREET OR INTO A WATERWAY, THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR RETURNING THE ADJACENT PROPERTY, CITY STREET OR WATERWAY TO ITS ORIGINAL CONDITION SATISFACTORILY TO THE CITY OR THE OWNER OF THE PROPERTY.
6. AFTER PLACEMENT OF ASPHALT BINDER ON NEWLY CONSTRUCTED STREET THE SHOULDER SHALL BE SEEDED WITHIN FOURTEEN (14) DAYS ACCORDING TO THE SEEDING SPECIFICATIONS.
7. TEMPORARY OR PERMANENT GROUNDCOVER SHALL BE PROVIDED ON ALL PERIMETER AREAS AND SLOPES 3:1 OR GREATER WITHIN 7 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PROVIDE GROUNDCOVER FOR ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT. ALL TEMPORARY AND PERMANENT STABILIZATION SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
8. THE OWNER/DEVELOPER MUST PLAN SITE WORK SO STONE PLACEMENT ON DRIVE ENTRANCE, DRIVEWAY AND PARKING LOT CAN START IMMEDIATELY AFTER FINE GRADING.
9. THE OWNER OR RESPONSIBLE PARTY IS RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF THE GROUNDCOVER ON THE PROPERTY. GROUNDCOVER MUST BE MAINTAINED TO A DEGREE THAT PREVENTS SOIL EROSION AND SEDIMENTATION AT ALL TIMES. THE CITY OF CHARLESTON HAS THE AUTHORITY TO REQUIRE CHANGES IN THE OWNER'S GROUNDCOVER MAINTENANCE PLAN IN ORDER TO STOP SOIL EROSION AND SEDIMENTATION AT ANY TIME.

LEGEND

- LOD — LOD — LIMIT OF DISTURBANCE
- SF — SF — SILT FENCE
- INLET PROTECTION
- SOIL STOCKPILE
- HAYBALES
- — — CENTERLINE OF SWALE
- - - - - EDGE OF SWALE

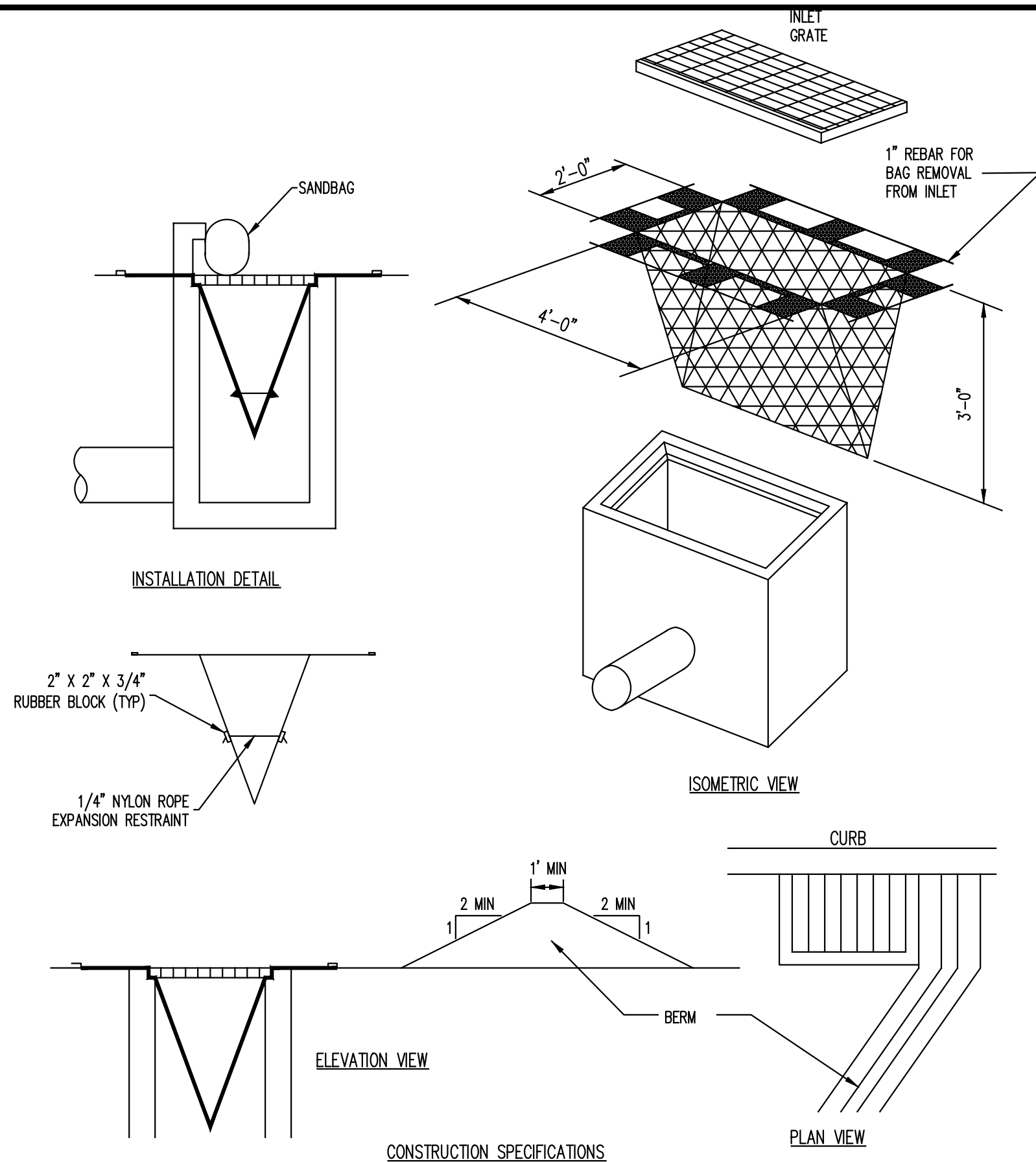
PROJECT		MOUNT OLIVET CEMETERY GARDEN MAUSOLEUM		WEST VIRGINIA	
SEAL					
SHEET TITLE		SOIL EROSION & SEDIMENT CONTROL PLAN			
PROJECT NO.		220804.13			
SCALE		AS SHOWN			
DATE		08/08/2024			
DRAWN BY		JTE/BJV			
CHECKED BY		MJK/DMB			
DRAWING NO.		C-401			
		5 OF 6 SHTS			

McLaren
ENGINEERING GROUP

McLaren Technical Services, Inc.
530 Chestnut Ridge Road
Woodcliff Lake, NJ 07677
T: 201.775.6000 www.mclaren.com

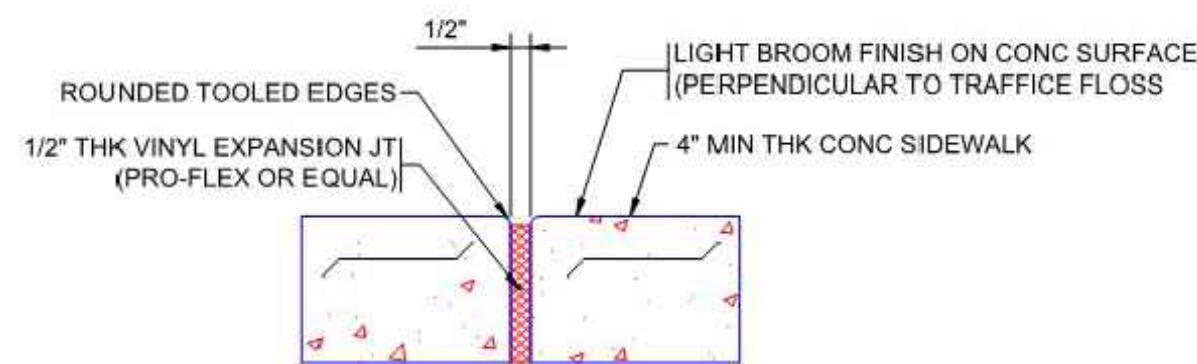
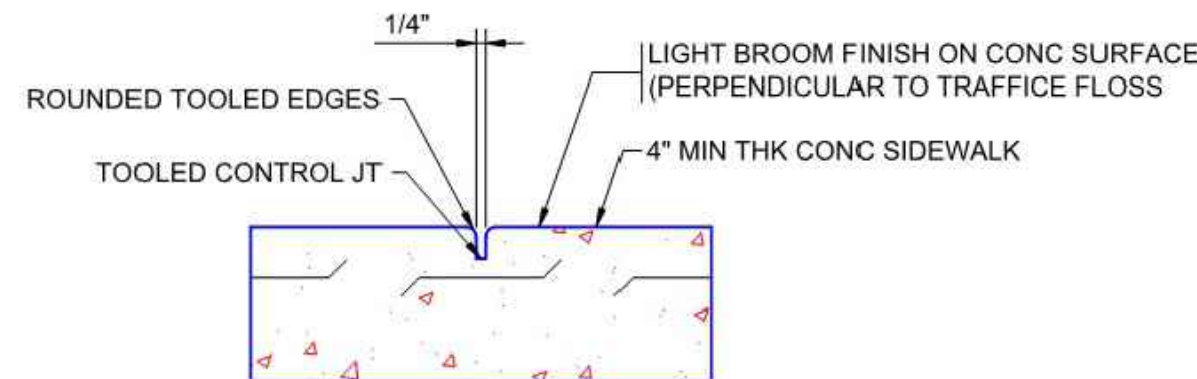
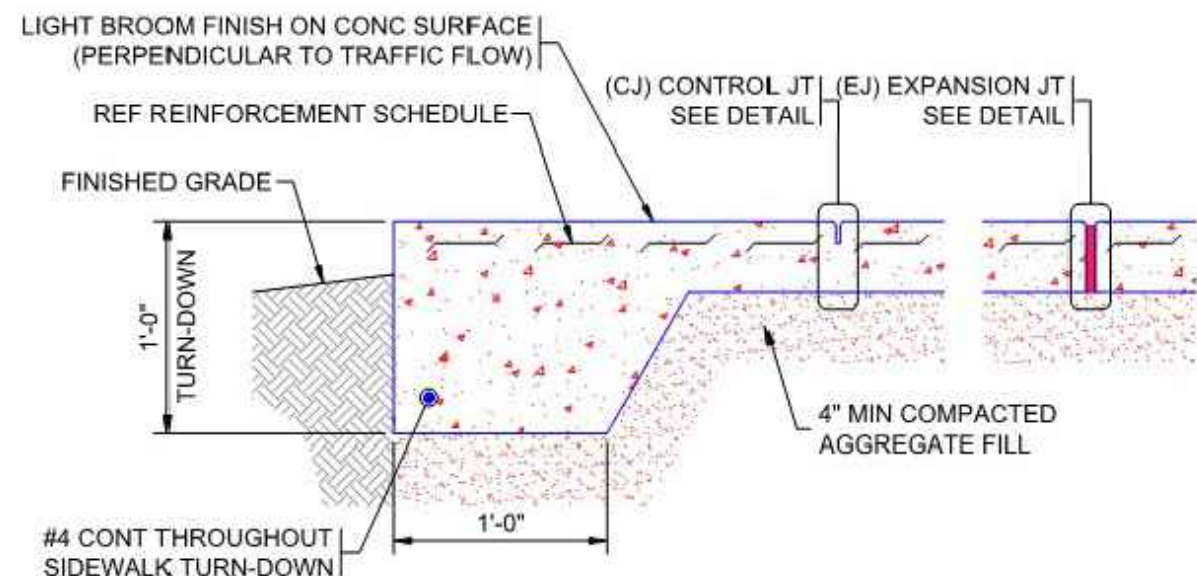
NO.	DATE	REVISION	BY

FILE NAME: P:\Proj\22020804.13\10_Dwg\CAD\DC-C-501 Civil Details.dwg PLOT TIME: Tuesday, September 03, 2024 - 9:02 AM BY: Brandon J. Vecare

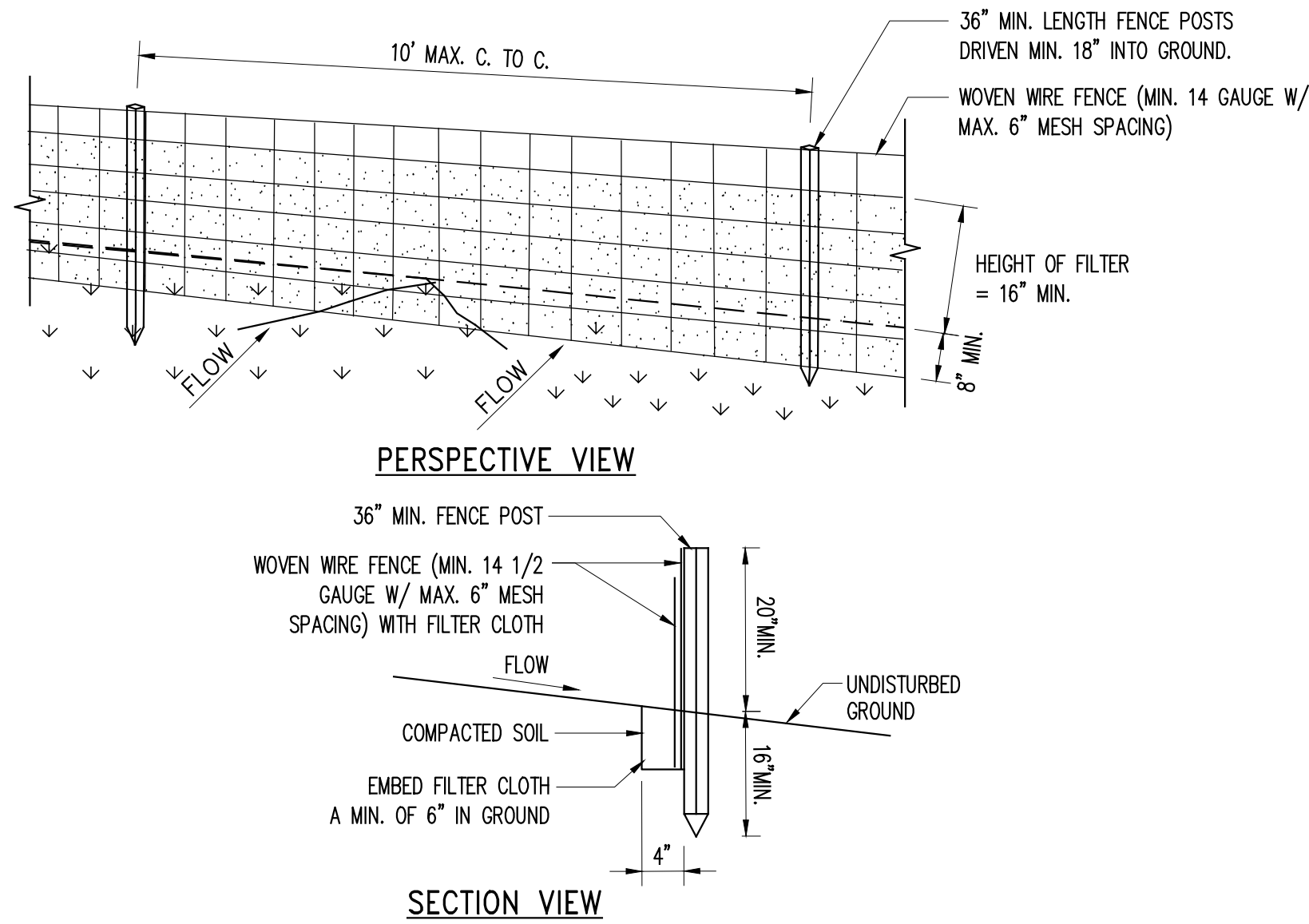


- CONSTRUCTION SPECIFICATIONS**
1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 2. INLET PROTECTION IS NOT REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS.
 3. EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED.
 4. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
 5. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS

A **C-501** **INLET PROTECTION** **N.T.S.**

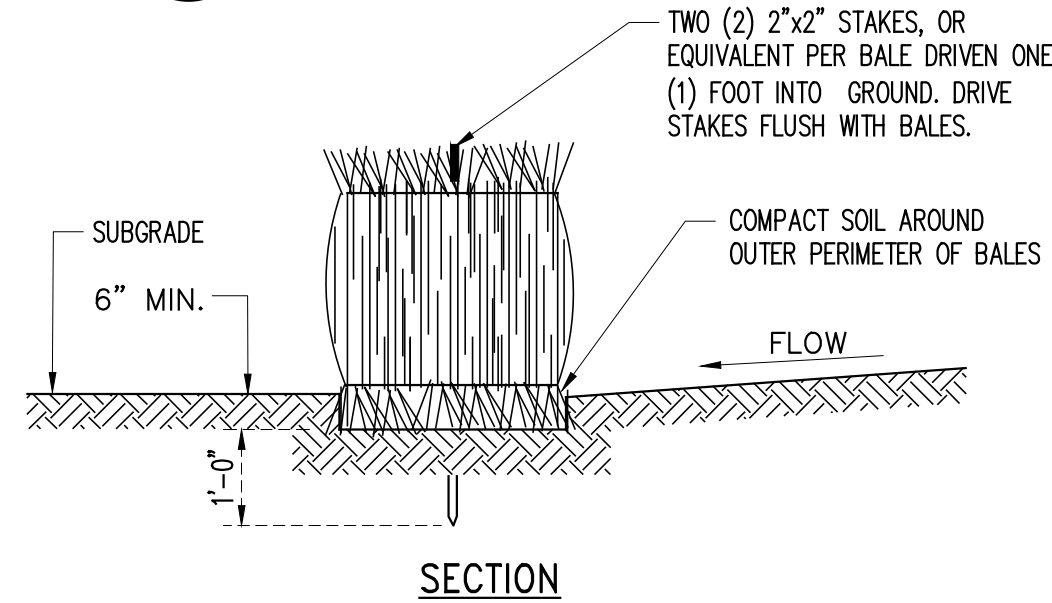


E **C-501** **CONCRETE SIDEWALK** **N.T.S.**



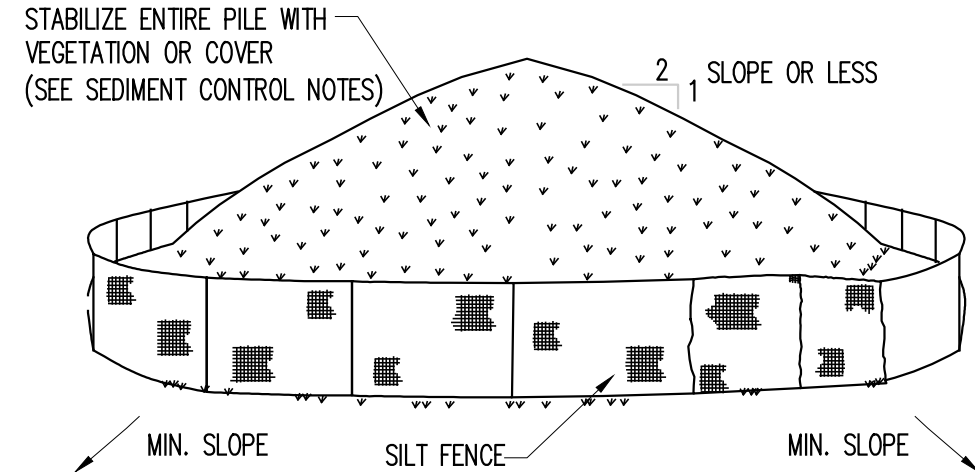
- CONSTRUCTION SPECIFICATIONS**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE GAUGE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER MIRAF 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND REPLACED.

B **C-501** **SILT FENCE** **N.T.S.**



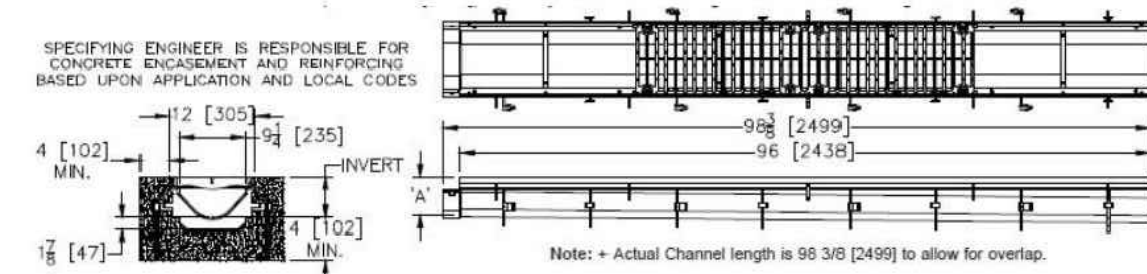
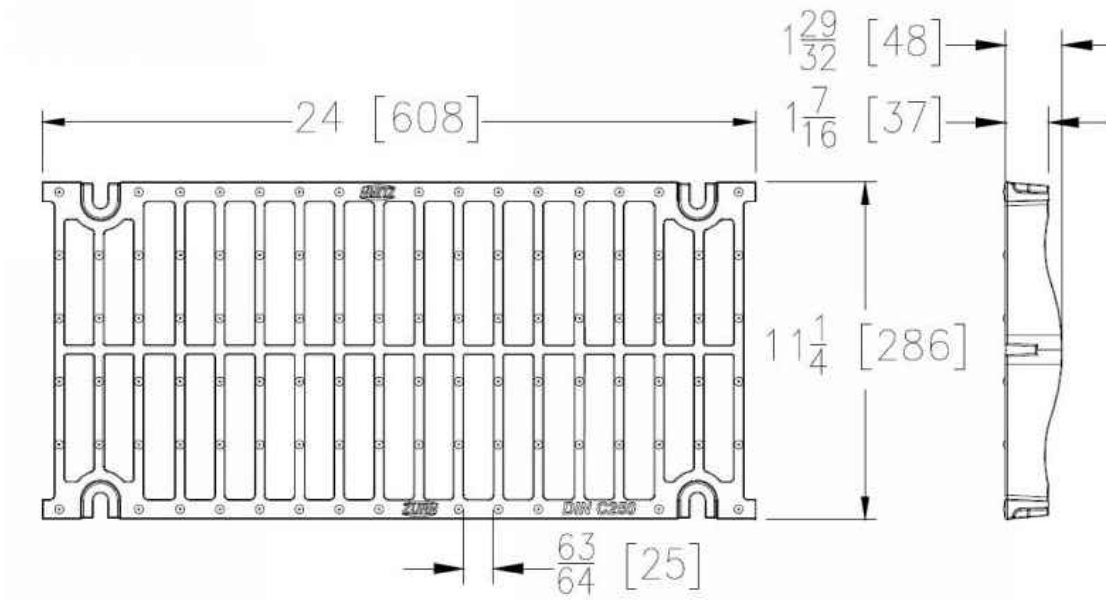
- NOTES:**
1. ALL BALES ARE TO BE TIGHTLY BUTTED TOGETHER.
 2. BALES SHALL BE EITHER STRAW OR HAY.
 3. PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPLACE CLOGGED BALES TO MAINTAIN EFFECTIVENESS OF INSTALLATION.

F **C-501** **HAYBALE FILTER PROTECTION** **N.T.S.**

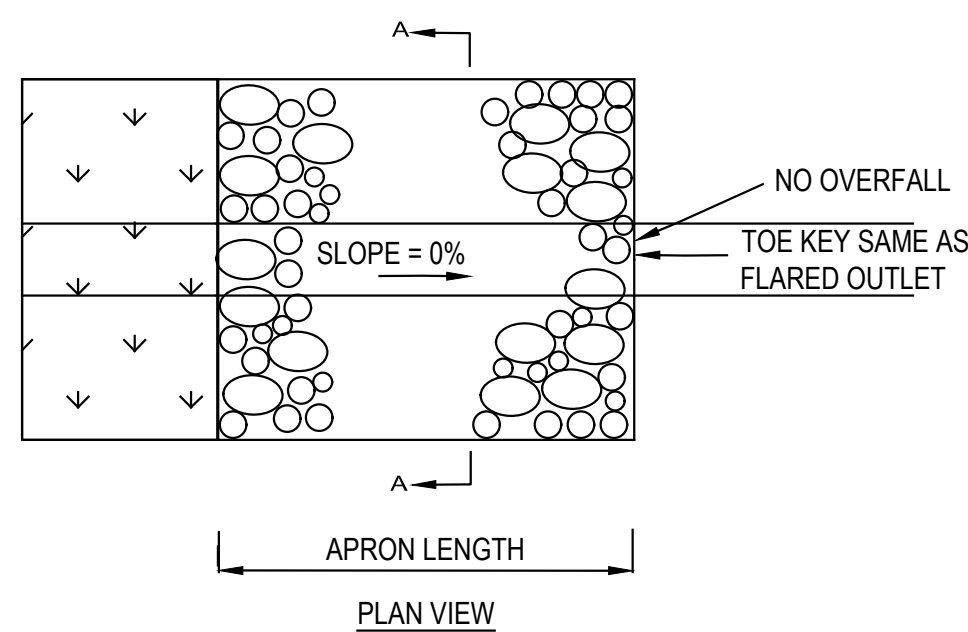


- INSTALLATION NOTES**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. SEE DETAIL ON THIS DRAWING FOR INSTALLATION OF SILT FENCE.

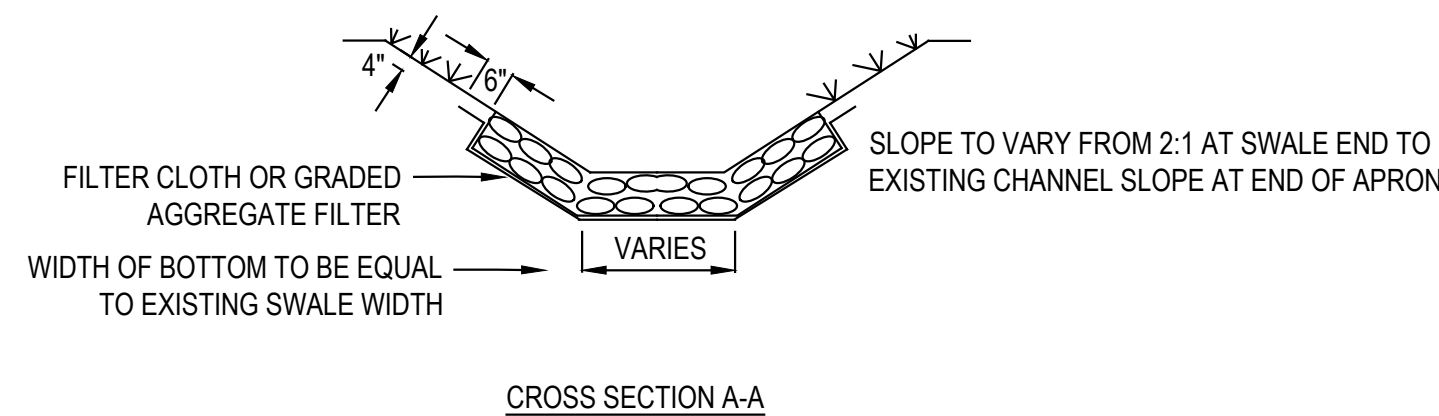
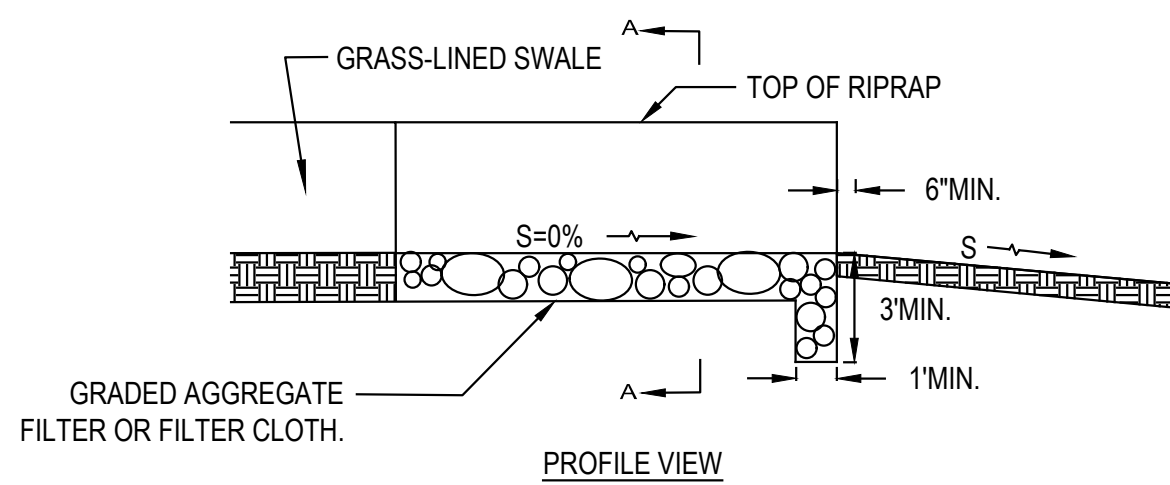
G **C-501** **SOIL STOCKPILING** **N.T.S.**



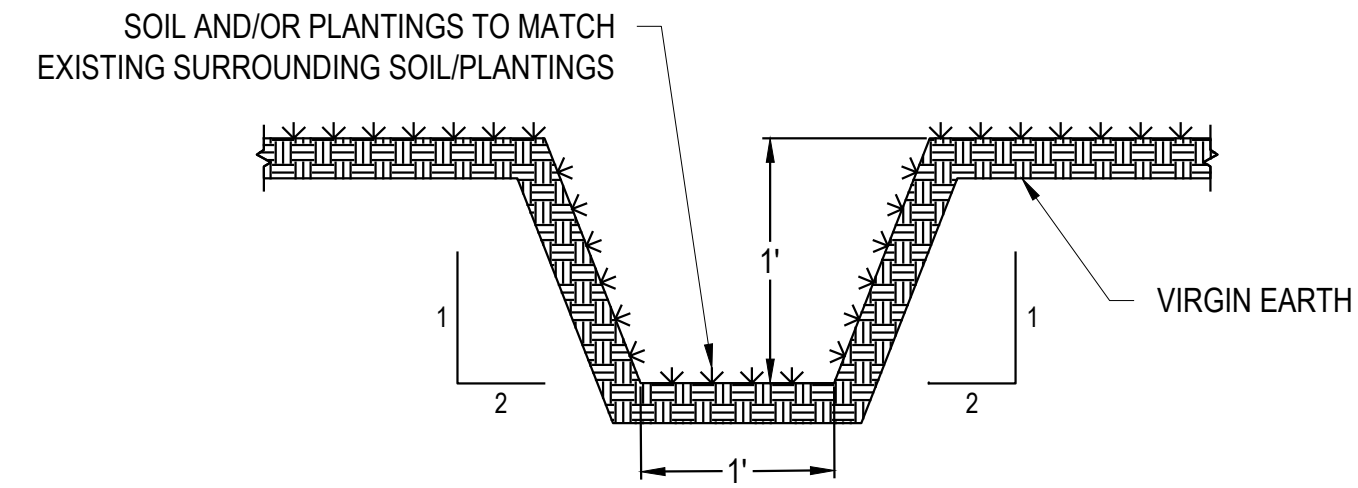
C **C-501** **Z882 TRENCH DRAIN CHANNEL AND FRAME** **N.T.S.**



D **C-501** **TYPICAL SWALE DETAIL** **N.T.S.**



H **C-501** **RIPRAP APRON** **N.T.S.**



PROJECT	NO.	DATE	REVISION	BY
MOUNT OLIVET CEMETERY GARDEN MAUSOLEUM CHARLESTON, WEST VIRGINIA				

McLaren
ENGINEERING GROUP
McLaren Technical Services, Inc.
530 Chestnut Ridge Road
Woodcliff Lake, NJ 07677
T: 201.775.6000 www.mclaren.com

CIVIL DETAILS

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6 OF 6 SHOTS